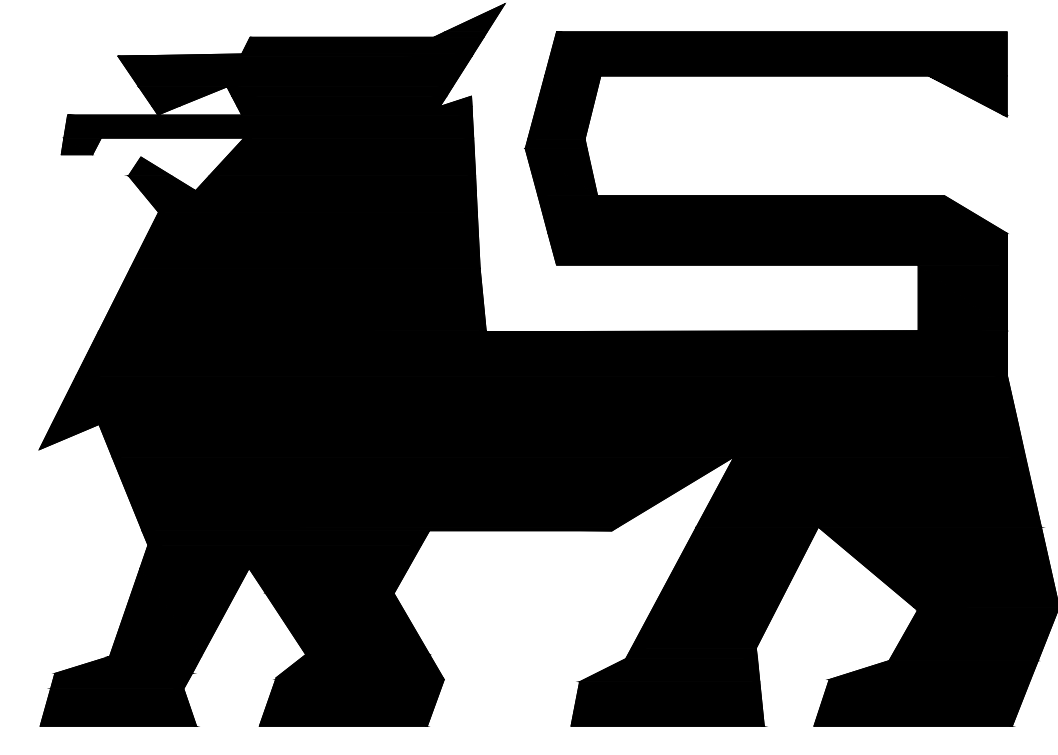


FOOD LION



Alterations For
Store No. 1319

30290 Mt. Wolf Rd.
Charlotte Hall, MD, 20622

LITTLE
DIVERSIFIED ARCHITECTURAL CONSULTING

615 South College St. Ste. 1600
Charlotte, NC 28202
T: 704.525.6350 F: 704.561.8700
www.littleonline.com

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1/28/2020

SITE INFORMATION

LOT: 7.56 ACRES

TAX MAP: 0001
BLOCK: 23
PARCEL: 129

ZONED: TMX

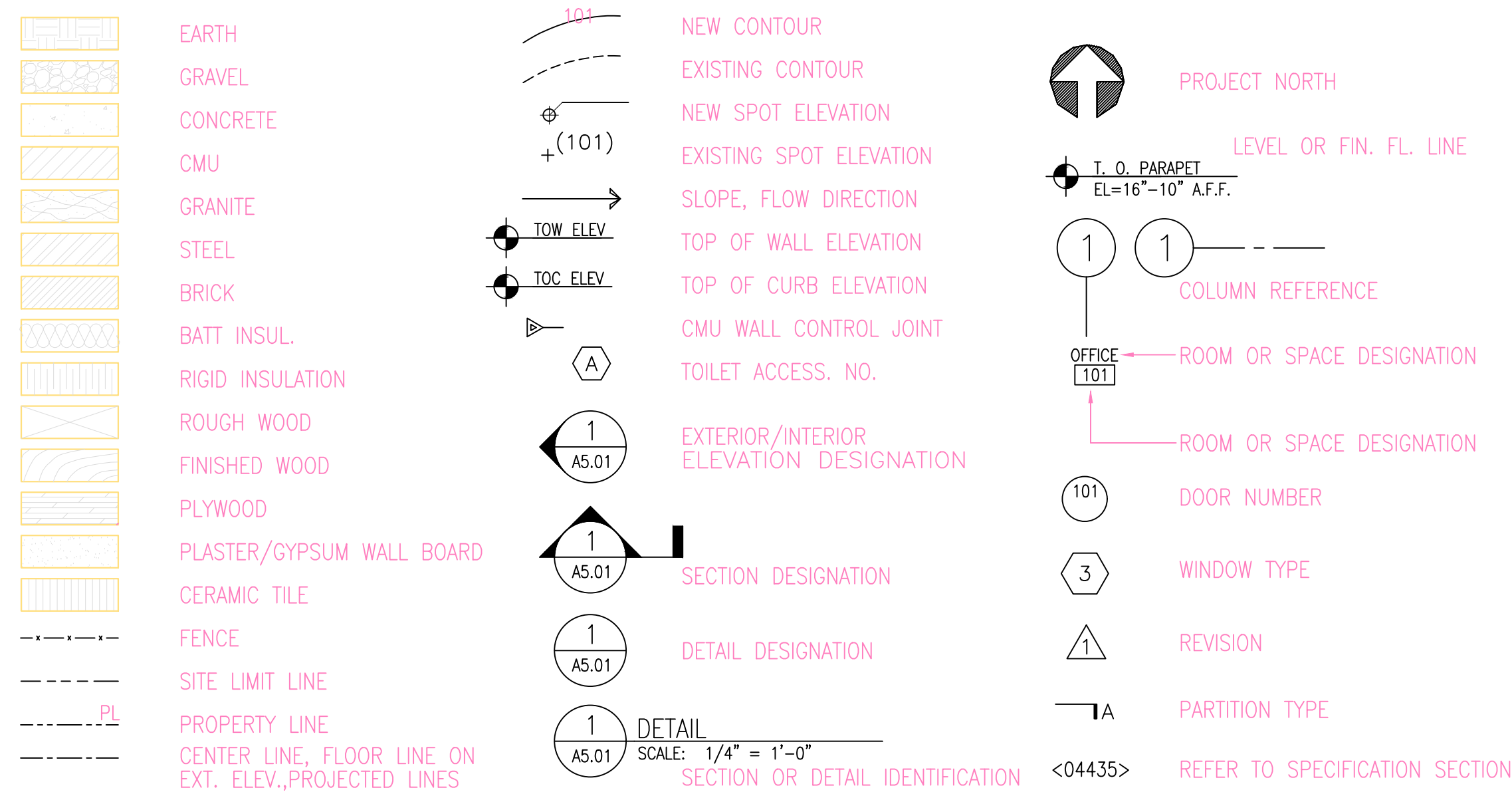
CONCEPT NARRATIVE

THE PURPOSE OF THIS PROJECT IS FOR THE CONSTRUCTION OF AN APPROXIMATE 6,600 SQUARE FOOT ADDITION TO THE EXISTING FOOD LION STORE #1319 IN CHARLOTTE HALL, MARYLAND.

TO MEET THE STORMWATER REQUIREMENTS, 50% OF THE EXISTING IMPERVIOUS SURFACE WILL BE TREATED BY 3 FILTRATION SYSTEMS. ADDITIONAL IMPERVIOUS SURFACE AREA RESULTING FROM THE CONSTRUCTION OF THE PROPOSED ADDITION, INCLUDING HORSE AND BUGGY PARKING, TRUCK TURNOUT, AND NEW DUMPSTER PAD WILL BE OFFSET BY REMOVING AN EQUIVALENT AMOUNT OF EXISTING IMPERVIOUS SURFACE ON THE SITE.

THE NATURAL RESOURCES WILL BE PROTECTED DURING THE CONSTRUCTION PHASE THROUGH APPROPRIATE EROSION CONTROL MEASURES, LONG TERM NATURAL RESOURCES PROTECTION, ENHANCEMENT AND PRESERVATION IS PROVIDED BY THE ADDITION OF THE FILTRATION SYSTEM TREATING 50% OF THE EXISTING IMPERVIOUS SURFACE AND OFFSETTING THE PROPOSED IMPERVIOUS SURFACE BY REMOVING AN EQUIVALENT PORTION OF EXISTING IMPERVIOUS SURFACE. THE NATURAL FLOW PATTERNS WILL NOT BE DISTURBED FOR THE SITE.

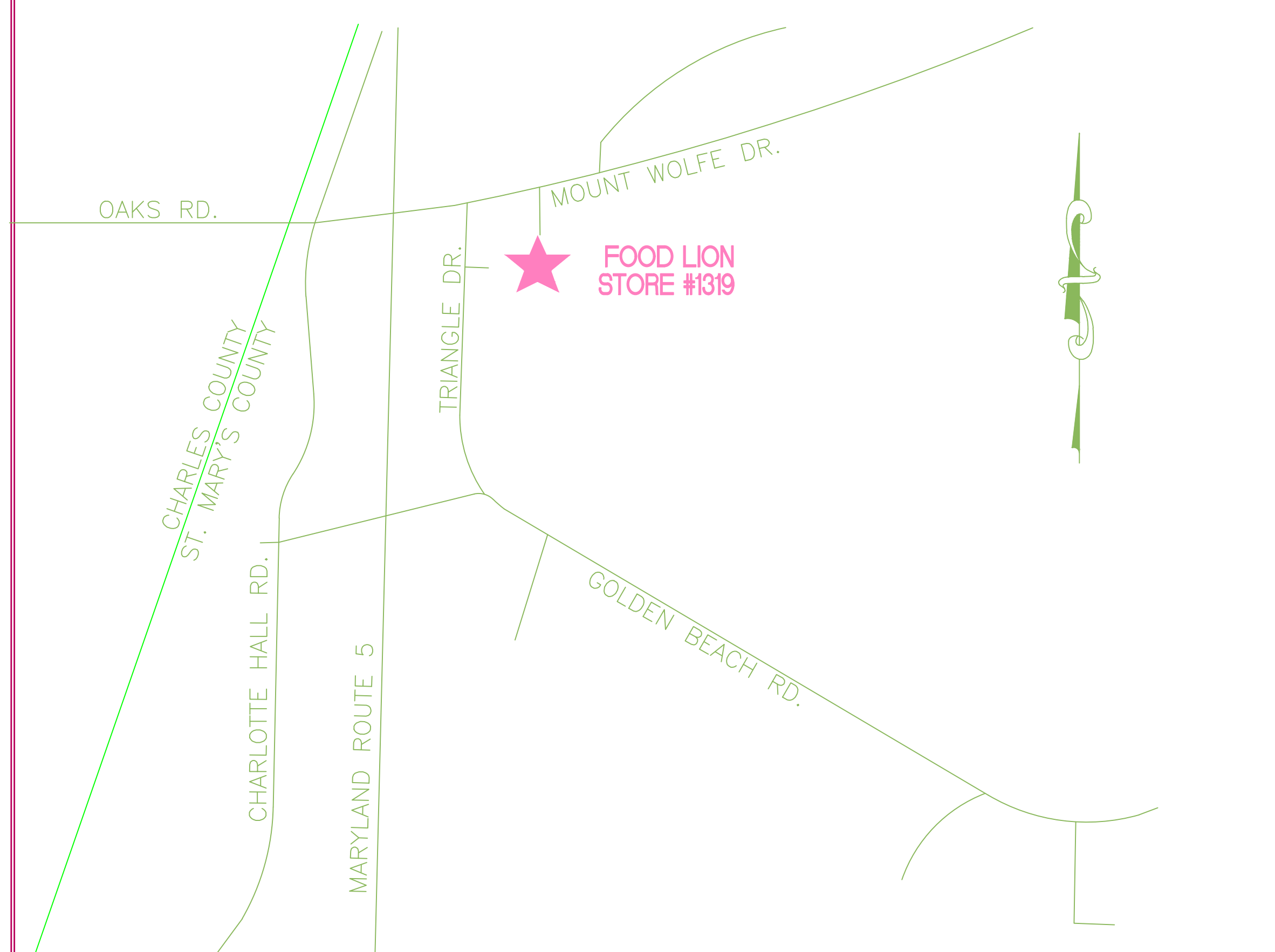
GRAPHIC AND MATERIAL INDICATIONS



INDEX OF DRAWINGS

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	NUMBER	DATE
G1.01 COVER SHEET		
CIVIL		
C1.00 EXISTING CONDITION PLANS		
C2.00 DEMOLITION PLAN		
C3.00 SITE LAYOUT PLAN		
C4.00 GRADING AND STORM DRAINAGE PLAN		
C5.00 EROSION CONTROL PLAN		
C6.00 UTILITY PLAN		
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VICINITY MAP



FOOD LION

2110 EXECUTIVE DRIVE
SALISBURY, NC 28145
PH: 704-633-8250
FX: 704-636-4940

ISSUE FOR

CONSTRUCTION

ISSUE DATE

1.28.2020

REVISIONS

NO.	REASON	DATE

PROJECT TEAM

PRINCIPAL IN CHARGE:
Tim Morrison, AIA
PROJECT MANAGER:
Stephanie Lewis

DESIGN TEAM

BK, EJ

PROJECT NAME

Food Lion Store #1319

30290 Mt. Wolf Road

Charlotte Hall, MD 20622

PROJECT NUMBER

1319FLMK19

FILE NAME

G1.00 Cover Sheet

LITTLE PROJECT NUMBER

122.13133.00

SHEET TITLE

**Concept Site Plan
Cover Sheet**

SHEET NUMBER

G1.00



1/28/2020



2110 EXECUTIVE DRIVE
SALISBURY, NC 28145
PH: 704-633-8250
FX: 704-636-4940

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PROJECT NAME

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30290 Mt. Wolf Road
Charlotte Hall, MD 20622

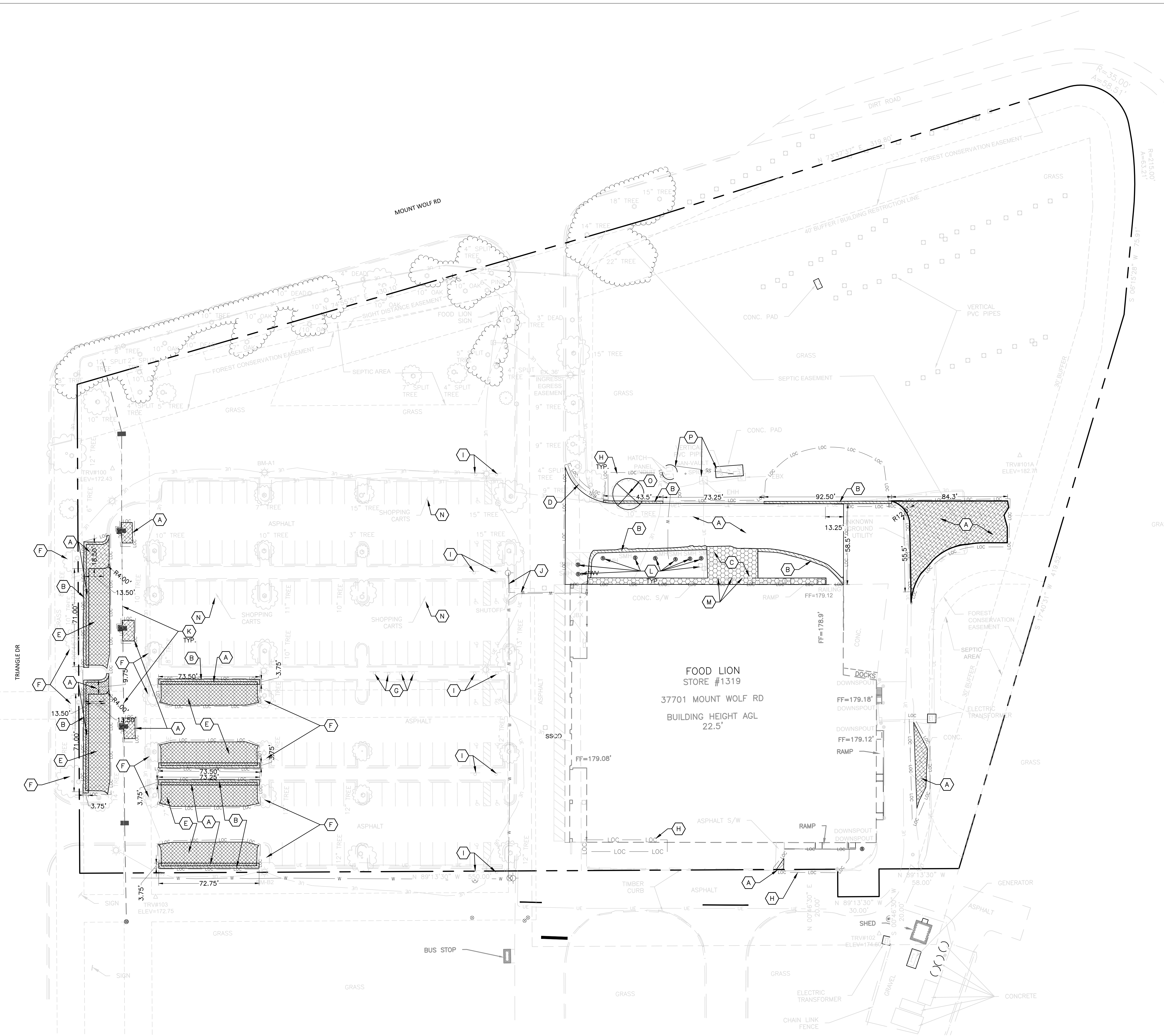
PROJECT NUMBER
1319FLMK19

FILE NAME

LITTLE PROJECT NUMBER
122.13133.00

SHEET TITLE
DEMOLITION PLAN

SHEET NUMBER
C2.00



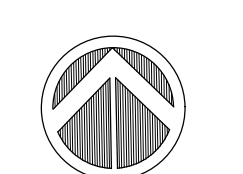
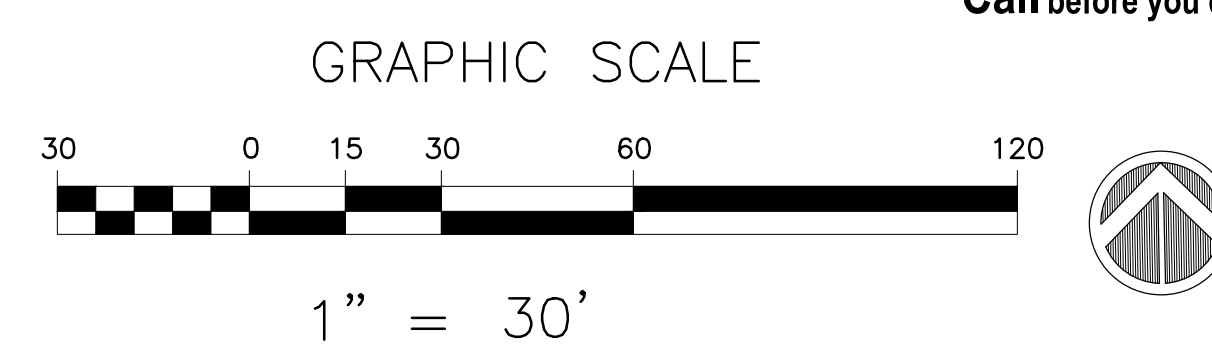
DEMOLITION NOTES

- PARTIAL BOUNDARY AND TOPOGRAPHICAL SURVEY INFORMATION IS TAKEN FROM A SURVEY BY DEWBERRY ENGINEERS, INC., 4601 FORBES BOULEVARD, SUITE 300 LANHAM, MD DATED OCTOBER 2019. CONTRACTOR SHALL OBTAIN A COPY OF THE ORIGINAL SURVEY.
- THE CONTRACTOR SHALL NOTIFY A PRIVATE UTILITY LOCATOR SERVICE AND RESEARCH EXISTING DRAWINGS AND OTHER DOCUMENTATION PRIOR TO BEGINNING CONSTRUCTION. ANY BELOW GRADE APPURTENANCES NOT CHARTED BY THE SURVEYOR ARE TO BE REPORTED TO THE DESIGNER OF RECORD. ALL REPAIRS/REPLACEMENTS MUST BE APPROVED BY DESIGNER OF RECORD.
- THE UTILITIES AND THE LOCATION SHOWN ON THE PLANS REPRESENT THE DESIGNER'S UNDERSTANDING OF EXISTING UTILITIES LOCATED WITHIN THE LIMITS OF CONSTRUCTION. PRIOR TO ANY EXCAVATION, CONTRACTOR IS TO FIELD VERIFY THE LOCATION, DEPTH, AND EXISTENCE OF ALL UTILITIES (ELECTRICAL, MECHANICAL, WATER, TELEPHONE, GAS, STORM, ETC.) WITH THE OWNER AND/OR THE APPROPRIATE UTILITY COMPANY. THE OMISSION OF, NONEXISTENCE OF, OR INCLUSION OF UTILITY LOCATIONS ON THE PLANS IS NOT TO BE CONSIDERED AS ABSOLUTE. DAMAGED UTILITIES SHALL BE REPAIRED/REPLACED AS THE CONTRACTOR'S EXPENSE. CONTRACTOR TO COORDINATE ANY FIELD CONDITIONS THAT MAY REVISE THE DESIGN WITH THE DESIGNER OF RECORD PRIOR TO PROCEEDING.
- CONTRACTOR SHALL MAINTAIN WATER, SEWER, ELECTRICAL AND OTHER UTILITY SERVICE TO EXISTING BUILDING AT ALL TIMES. CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION. THE DESIGNER OF RECORD SHALL BE NOTIFIED OF ALL UNDERGROUND UTILITIES EXPOSED DURING CONSTRUCTION OR THOSE LEFT WITH LESS THAN ACCEPTABLE EARTH COVER. THE DESIGNER OF RECORD SHALL DETERMINE THE RESOLUTION OF THE UTILITY AND DETERMINE IF A CHANGE ORDER IS REQUIRED OR THE CONTRACTOR IS RESPONSIBLE FOR ALL COSTS INVOLVED.
- INSTALL ALL EROSION CONTROL MEASURES PRIOR TO BEGINNING CONSTRUCTION.
- INSTALL INLET PROTECTION AS NOTED ON EROSION CONTROL PLANS AT ALL EXISTING STORM DRAINAGE STRUCTURES ADJACENT TO OR DOWNSTREAM OF DEMOLITION AREAS TO PREVENT FLOW OF SEDIMENT AND DEBRIS INTO EXISTING STORM DRAINAGE SYSTEMS.
- NO SOIL DISTURBANCE, SOIL COMPACTION, CONSTRUCTION MATERIALS, OR CONSTRUCTION TRAFFIC IS ALLOWED BEYOND THE LIMITS OF CONSTRUCTION SHOWN.
- TREE PROTECTION BARRICADES MUST BE INSTALLED PRIOR TO ANY GRADING, DEMOLITION, OR CONSTRUCTION AND SHALL NOT BE REMOVED UNTIL PROJECT IS COMPLETED.
- ALL PAVEMENT CUTS SHALL BE MADE BY SAW CUTS. EXISTING ELEVATIONS SHALL BE FIELD VERIFIED AND MATCHED.

DEMOLITION LEGEND

- A. SAWCUT AND REMOVE EXISTING ASPHALT/CONCRETE.
- B. SAWCUT AND REMOVE EXISTING CURB AND GUTTER.
- C. SAWCUT AND REMOVE EXISTING CONCRETE.
- D. TREE PROTECTION BARRICADE - SEE DETAIL 6/C5.00.
- E. POWERWASH EXISTING ASPHALT. SEE SITE PLAN FOR PROPOSED RESTRIPING.
- F. EXISTING LANDSCAPING TO BE REMAIN AND BE PROTECTED DURING CONSTRUCTION.
- G. EXISTING SIGNAGE TO REMAIN AND BE PROTECTED DURING CONSTRUCTION.
- H. LIMITS OF CONSTRUCTION (0.75 AC.).
- I. EXISTING ACCESSIBLE PARKING SIGNS TO REMAIN.
- J. EXISTING WATER LINE TO REMAIN AND BE PROTECTED DURING CONSTRUCTION.
- K. EXISTING STORM PIPES AND STRUCTURES TO REMAIN AND BE PROTECTED DURING CONSTRUCTION - COORDINATE WITH GRADING PLANS.
- L. EXISTING GREASE INTERCEPTOR, SANITARY SEWER SEPTIC TANK, OIL/WATER SEPARATOR AND PUMP STATION TO BE REMOVED. COORDINATE REMOVAL/REPLACEMENT WITH UTILITY RELOCATION PLANS BY OTHERS.
- M. REMOVE EXISTING HITTING POSTS AND RELOCATE AS SHOWN ON SHEET C3.00.
- N. EXISTING CART RETURN TO BE REMOVED.
- O. EXISTING TREE TO BE REMOVED.
- P. PROTECT EXISTING SANITARY SEWER/SEPTIC STRUCTURES AND EQUIPMENT TO REMAIN DURING DEMOLITION AND CONSTRUCTION PHASES.

CAUTION!!!
The locations and elevations of existing underground utilities as shown on this drawing are only APPROXIMATE. No guarantee is either expressed or implied as to the completeness of accuracy thereof. The contractor shall be exclusively responsible for determining the exact utility locations and elevations prior to the start of construction



PROJECT INFORMATION

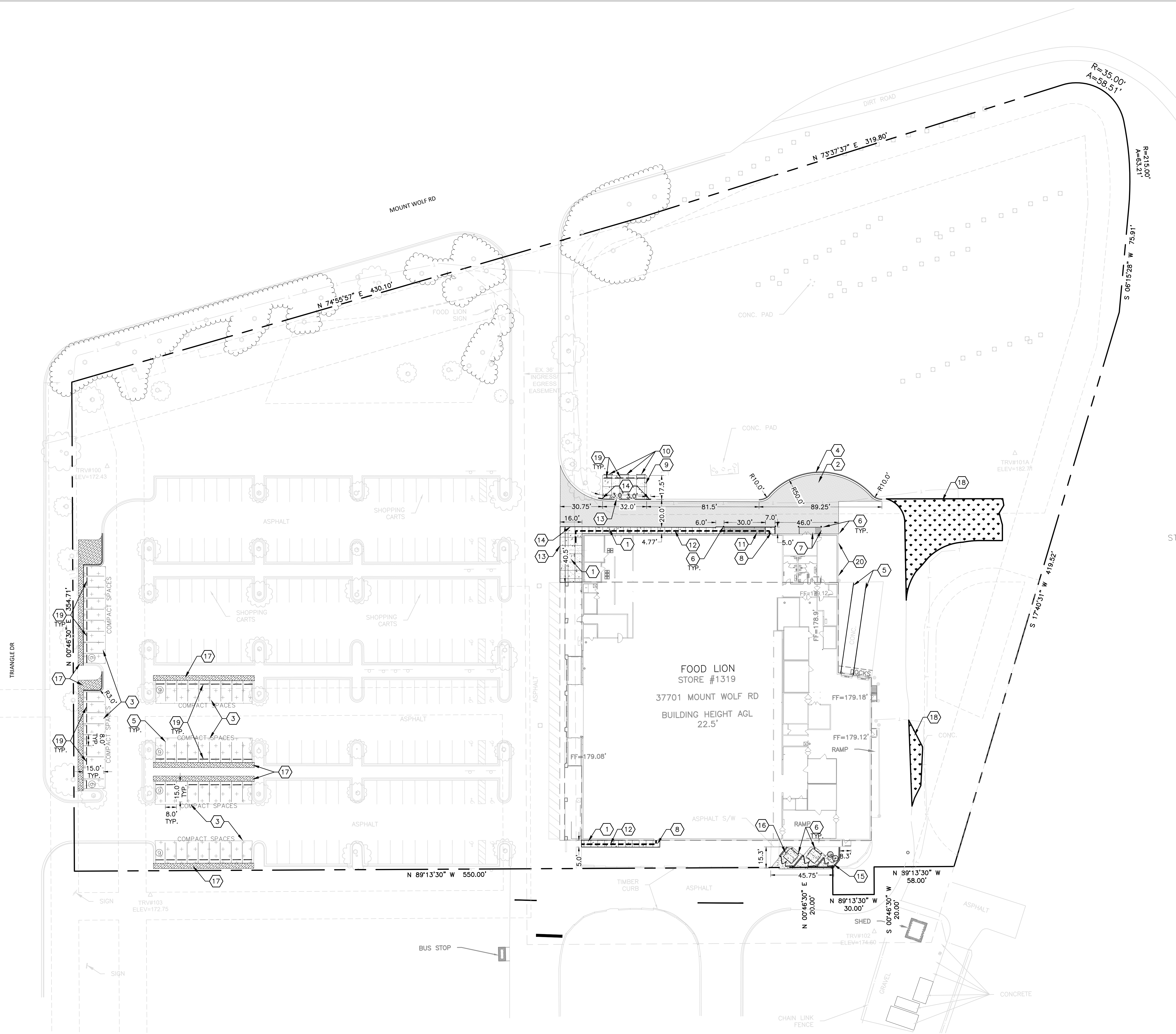
PROJECT NAME: FOOD LION STORE #1319 EXPANSION
 OWNER: FOOD LION LLC (A DELHAIZE COMPANY)
 PHONE: (704)-633-8250
 PLANS PREPARED BY: LITTLE DIVERSIFIED ARCHITECTURAL CONSULTING
 PHONE: (704)-525-6350
 ZONING: TOWN CENTER MIXED USE
 JURISDICTION: CHARLOTTE HALL
 LOT SIZE: 7.56 ACRES
 PARCEL #: 000100230129
 DEED BOOK / PAGE: 00925 / 00112
 TAX MAP: 1
 TAX PARCEL: 42
 TAX GRID: 22
 ADDITIONAL IMPERVIOUS AREA: 2623 SF (0.08 AC)

LAYOUT NOTES

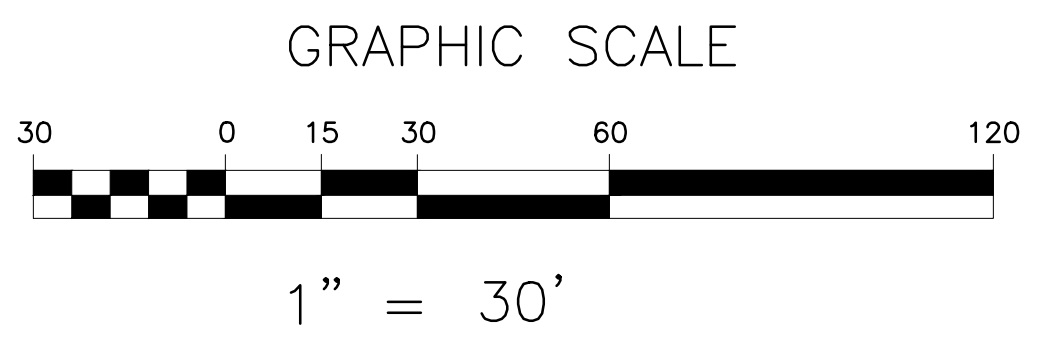
- ALL TRAFFIC CONTROL SIGNAGE, DEVICES, AND STRIPING TO CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.).
- ALL PAVING CUTS SHALL BE MADE BY SAW CUTS.
- EXISTING ELEVATIONS SHALL BE FIELD VERIFIED AND MATCHED.
- CONTRACTOR TO COORDINATE ANY CHANGES IN FIELD CONDITIONS THAT MAY REVISE THE DESIGN WITH DESIGNER OF RECORD PRIOR TO PROCEEDING.
- ALL DIMENSIONS ARE TO FACE OF CURB OR TO FINISHED FACE OF BUILDING UNLESS NOTED OTHERWISE.
- ALL RADII ON CURBS SHALL BE 5'-0" UNLESS NOTED OTHERWISE.
- ALL ACCESSIBLE PARKING SPACES SHALL DISPLAY APPROVED RESERVED PARKING SPACE SIGNAGE AS PRESCRIBED BY THE AMERICANS WITH DISABILITIES ACT (ADA), M.U.T.C.D., AND ANY ADDITIONAL STATE AND/OR LOCAL REQUIREMENTS. HEIGHT FROM FINISHED GRADE TO BOTTOM OF SIGN IN ANY LOCATION SHALL BE 84" MINIMUM.
- A MINIMUM OF 18" IS TO BE MAINTAINED BETWEEN ALL PAVED SURFACES AND TOPS OF FOOTINGS.

LAYOUT LEGEND:

- PROPOSED MONOLITHIC CONCRETE SIDEWALK-SEE DETAIL 3/C7.00
- PROPOSED HEAVY-DUTY ASPHALT PAVING-SEE DETAIL 1/C7.00
- AREA TO BE POWERWASHED AND RESTRIPIED
- PROPOSED 21" CONCRETE CURB AND GUTTER 4/C7.00
- PROPOSED 4" WHITE PAINTED STRIPING
- PROPOSED BOLLARDS - SEE DETAIL 6/C7.00
- PROPOSED METAL STAIRS AND LANDING - SEE ARCHITECTURAL PLANS FOR DETAIL.
- PROPOSED ACCESSIBLE EGRESS - SEE DETAIL 8/C7.00
- CONCRETE PAD FOR BUGGY PARKING
- RELOCATED HITCHING POSTS
- PROPOSED ACCESSIBLE RAMP WITH RAILS - SEE STRUCTURAL PLANS FOR DETAIL
- ACCESSIBLE ROUTE - CONTRACTOR TO ENSURE THAT RUNNING SLOPE IS NOT GREATER THAN 5% AND THAT THE CROSS SLOPE IS NOT MORE THAN 2% ALONG THIS ROUTE.
- PROPOSED FLUSH CURB - SEE DETAIL 7/C7.00
- PROPOSED CURB TAPER - SEE DETAIL 5/C7.00
- PROPOSED HEAVY DUTY CONCRETE PAVING - SEE DETAIL 2/C7.00
- PROPOSED DUMPSTER ENCLOSURE - SEE DETAIL 1/C7.01
- NEW LANDSCAPED AREA
- NEW GRASSED AREA
- WHEEL STOPS
- PROPOSED DOWNSPOUTS



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1/28/2020



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 SALISBURY, NC 28145
 PH: 704-633-8250
 FX: 704-636-4940

ISSUE FOR
CONSTRUCTION

ISSUE DATE
1.28.2020

NO.	REVISION	DATE

PROJECT TEAM
 PRINCIPAL IN CHARGE: **Tim Morrison, AIA**
 PROJECT MANAGER: **Stephanie Lewis**
 DESIGN TEAM: **BK, EJ**

PROJECT NAME
Food Lion Store #1319
30290 Mt. Wolf Road
Charlotte Hall, MD 20622

PROJECT NUMBER
1319FLMK19

FILE NAME
 LITTLE PROJECT NUMBER
122.13133.00

SHEET TITLE
SITE LAYOUT PLAN

SHEET NUMBER
C3.00



2110 EXECUTIVE DRIVE
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DESIGN TEAM:
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PROJECT NAME:

Food Lion Store #1319
30290 Mt. Wolf Road
Charlotte Hall, MD 20622

PROJECT NUMBER
1319FLMK19

FILE NAME

LITTLE PROJECT NUMBER
122.13133.00

SHEET TITLE
GRADING & STORM DRAINAGE PLAN

SHEET NUMBER
C4.00



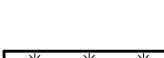
GRADING AND UTILITY NOTES

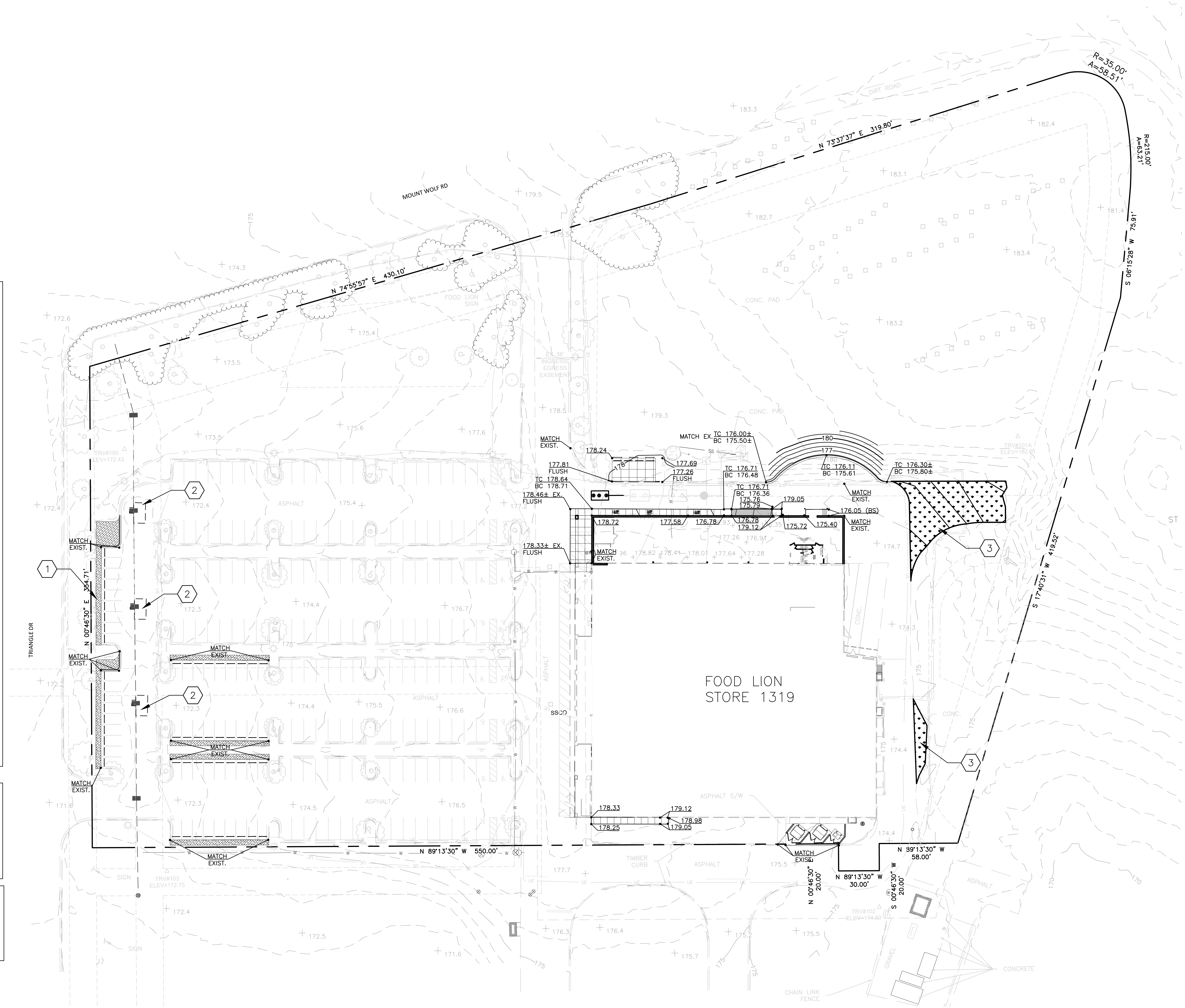
- VERIFY ALL EXISTING GRADES AND REPORT ANY DISCREPANCIES TO DESIGNER OF RECORD.
- ALL NEW CONTOURS AND SPOT ELEVATIONS ARE SHOWN AS FINISHED GRADES. THE GRADING CONTRACTOR MUST MAKE ALLOWANCES FOR THICKNESS OF PAVING SECTIONS, CONCRETE SLABS, ETC.
- THE ENTIRE SITE WITHIN THE LIMITS OF CONSTRUCTION SHALL BE GRADED TO DRAIN FREELY. ALL DISTURBED AREAS SHALL BE FINE GRADED AND SEEDED TO ESTABLISH A PERMANENT LAWN, WHETHER INSIDE OR OUTSIDE THE LIMITS OF CONSTRUCTION.
- CONTRACTOR SHALL MAINTAIN WATER, SEWER, ELECTRICAL AND OTHER UTILITY SERVICE TO EXISTING BUILDING AT ALL TIMES. CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION. THE DESIGNER OF RECORD SHALL BE NOTIFIED OF ALL UNDERGROUND UTILITIES EXPOSED DURING CONSTRUCTION OR THOSE LEFT WITH LESS THAN ACCEPTABLE EARTH COVER. THE DESIGNER OF RECORD SHALL DETERMINE THE RESOLUTION OF THE UTILITY AND DETERMINE IF A CHANGE ORDER IS REQUIRED OR THE CONTRACTOR IS RESPONSIBLE FOR ALL COSTS INVOLVED.
- NO SLOPES SHALL BE GRADED STEEPER THAN 3:1, UNLESS INDICATED OTHERWISE.
- APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. ANY GRADING BEYOND THE PROPERTY LINE INDICATED ON THE CONSTRUCTION DOCUMENTS IS A VIOLATION AND IS SUBJECT TO A FINE. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
- GRADING MORE THAN ONE ACRE WITHOUT AN APPROVED EROSION CONTROL PLAN IS A VIOLATION AND IS SUBJECT TO A FINE.
- THE UTILITIES AND THE LOCATION SHOWN ON THE PLANS REPRESENT THE DESIGNER'S UNDERSTANDING OF EXISTING UTILITIES LOCATED WITHIN THE LIMITS OF CONSTRUCTION. PRIOR TO ANY EXCAVATION, CONTRACTOR IS TO FIELD VERIFY THE LOCATION, DEPTH, AND EXISTENCE OF ALL UTILITIES (ELECTRICAL, MECHANICAL, WATER, TELEPHONE, GAS, STORM, ETC.) WITH THE OWNER AND/OR THE APPROPRIATE UTILITY COMPANY. THE OMISSION OF, NONEXISTENCE OF, OR INCLUSION OF UTILITY LOCATIONS ON THE PLANS IS NOT TO BE CONSIDERED AS ABSOLUTE. DAMAGED UTILITIES SHALL BE REPAIRED/REPLACED AS THE CONTRACTOR'S EXPENSE. CONTRACTOR TO COORDINATE ANY FIELD CONDITIONS THAT MAY REVISE THE DESIGN WITH THE DESIGNER OF RECORD PRIOR TO PROCEEDING.
- ANY UNSUITABLE MATERIAL ON SITE IS TO BE QUANTIFIED BY A GEOTECHNICAL ENGINEER PRIOR TO REMOVING. CONTRACTOR MUST NOTIFY OWNER OR OWNER'S REPRESENTATIVE IF UNSUITABLE MATERIAL IS ENCOUNTERED.
- CONTRACTOR MUST COORDINATE ALL DRAINAGE STRUCTURE GRATES SHOWN WITH FIELD CONDITIONS TO ENSURE THAT GRATES ARE FLUSH WITH FINISHED GRADE.
- IF UNDERGROUND ROOF DRAINS ARE ENCOUNTERED OR IF EXISTING ROOF DRAINS INTERFERE WITH APPROVED DESIGN, NOTIFY DESIGNER OF RECORD.
- 90 DAYS PRIOR TO OBTAINING A CERTIFICATE OF OCCUPANCY, THE CONTRACTOR IS TO PROVIDE DESIGNER OF RECORD WITH A PDF AND AUTOCAD AS-BUILT SURVEY (SEALED BY REGISTERED SURVEYOR) OF ALL STORMWATER CONTROL AND MANAGEMENT DEVICES SHOWING THE FIELD LOCATION, SIZE, DEPTH, AND PLANTED VEGETATION OF ALL MEASURES AND DEVICES AS INSTALLED. SURVEY TO INCLUDE ALL STORM INVERTS, OUTLET CONTROL WEIRS & ORIFICE DIAMETER, ORIFICE SIZE AND BMP CONTOURS AND SPILLWAY ELEVATION & DIMENSIONS TO SUBMIT AS A CONDITION OF STORMWATER APPROVAL.
- A 24" VERTICAL SEPARATION MUST BE PROVIDED BETWEEN STORM SEWER AND SANITARY SEWER PIPES.
- BENCHMARK LOCATIONS AND ELEVATIONS ARE TO BE VERIFIED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- UPON COMPLETION OF CONSTRUCTION OPERATIONS AND PRIOR TO USE OF FACILITIES, THE CONTRACTOR IS TO FULLY FLUSH ALL SUBSURFACE STORMWATER CONDUITS USING FIRE HOSES OR OTHER WATER SOURCES OF EQUIVALENT MAGNITUDE. THE CONTRACTOR SHALL TAKE CARE NOT TO DAMAGE ANY OF THE SITE DURING THIS PROCEDURE.

ACCESSIBILITY NOTES

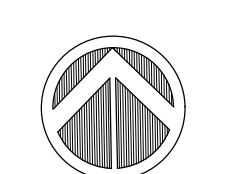
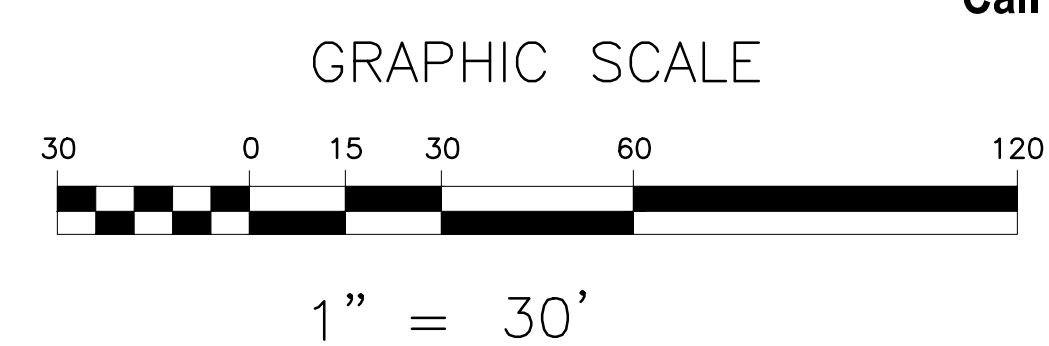
- AMERICANS WITH DISABILITIES ACT (ADA) REGULATIONS MANDATE A MAXIMUM OF 2% SLOPE IN ANY DIRECTION IN ACCESSIBLE PARKING SPACES AND ACCESS AISLES.
- ADA REGULATIONS MANDATE REQUIRED EGRESS SIDEWALKS FROM PARKING TO THE BUILDING ENTRANCE AND PUBLIC RIGHT OF WAY CANNOT EXCEED 2% CROSS SLOPE AND 5% RUNNING SLOPE.
- ALL GRADES IN THESE AREAS WILL BE VERIFIED BY DESIGNER OF RECORD (USING A 2' DIGITAL LEVEL) PRIOR TO FINAL APPROVAL.

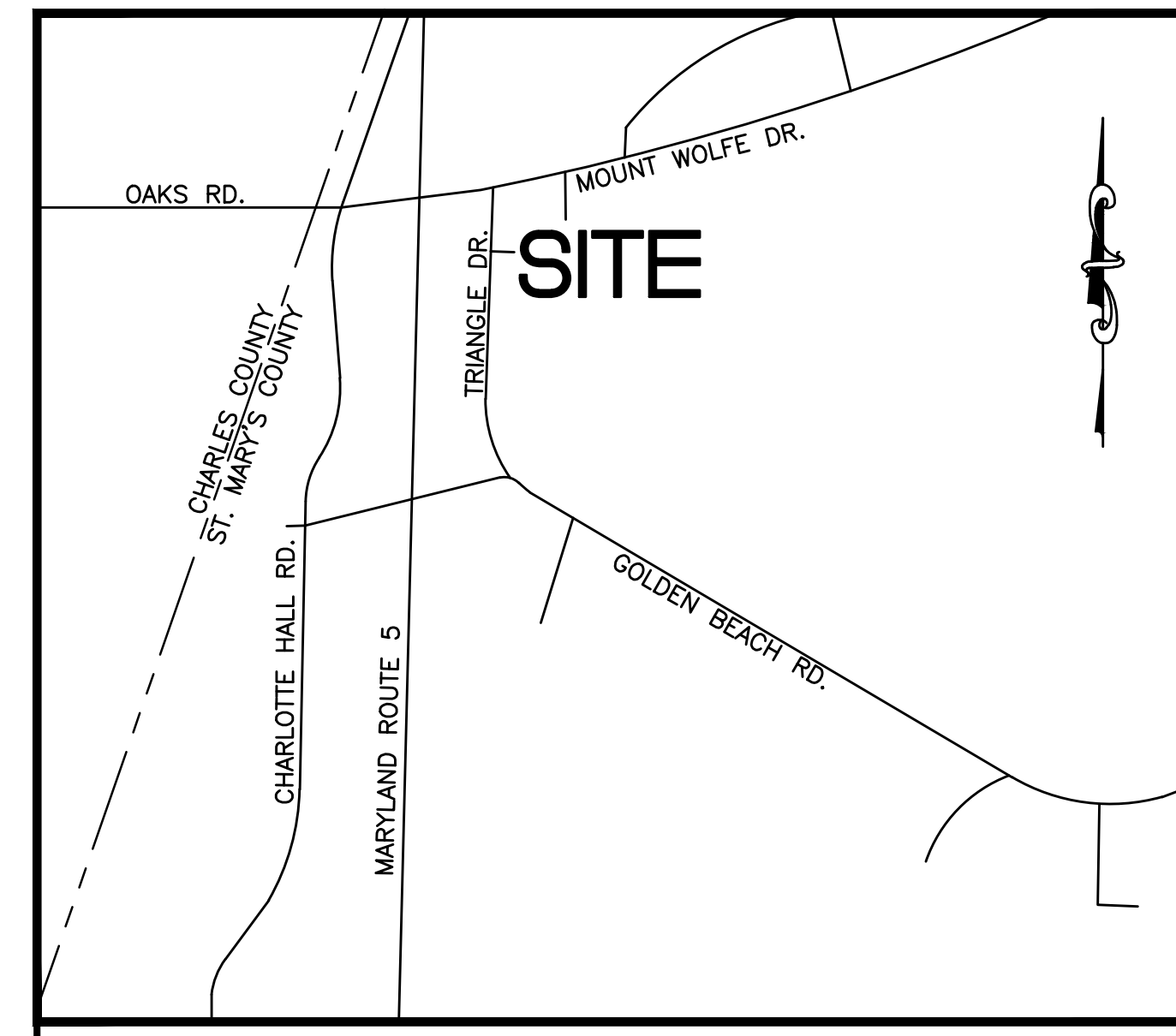
STORM WATER LEGEND:

- PROPOSED CONVERTED LANDSCAPED AREA 
- PROPOSED OLDECASTLE PERK FILTER UNDERGROUND FILTRATION SYSTEM - SEE DETAIL SHEET C7.02. 
- PROPOSED CONVERTED GRASS AREA 



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CONSULTANTS CERTIFICATION
 "I certify that this Concept Erosion and Sediment Control and Stormwater Management Plan represents all significant natural resources based on my personal knowledge of the site, and that this plan was prepared in accordance with the requirements of the review agencies. I have reviewed this Concept Plan with the owner/developer".

Signature [Signature] MD License # **PE 45796**
 Print Name **KEVIN THORSTAD** Date **01/24/2020**

VICINITY MAP
NOT TO SCALE

EROSION CONTROL/MAINTENANCE NOTES

- A. NO ON-SITE BURIAL PIT WILL BE LOCATED ON THIS SITE. CONTRACTOR IS RESPONSIBLE FOR PROPER DISPOSAL OF DEBRIS.
- B. ANY GRADING BEYOND THE LIMITS OF CONSTRUCTION SHOWN IS A VIOLATION OF THE STATE'S EROSION CONTROL ORDINANCE AND IS SUBJECT TO A FINE.
- C. DISTURBING MORE THAN 5,000 SF OR 100 CY OF EARTH WITHOUT AN APPROVED EROSION CONTROL PLAN IS A VIOLATION OF THE STATE'S EROSION CONTROL ORDINANCE AND IS SUBJECT TO A FINE.
- D. ALL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CHECKED FOR STABILITY AND OPERATION FOLLOWING EVERY RUNOFF-PRODUCING RAINFALL, BUT IN NO CASE LESS THAN ONCE EVERY WEEK. ANY REPAIRS ARE TO BE MADE IMMEDIATELY. SEDIMENT IS TO BE REMOVED FROM ALL SEDIMENT TRAPS AND INLET PROTECTION DEVICES WHEN STORAGE CAPACITY IS AT APPROXIMATELY 50% FULL. GRAVEL IS TO BE CLEANED OR REPLACED WHEN SEDIMENT POOLS NO LONGER DRAIN PROPERLY.
- E. SEDIMENT WILL BE REMOVED FROM BEHIND ALL SEDIMENT FENCES WHEN IT BECOMES APPROXIMATELY 6" DEEP AT THE FENCE. THE SEDIMENT FENCE IS TO BE IMMEDIATELY REPAIRED WHEN DAMAGED.
- F. PERMANENT GRASS MUST BE ESTABLISHED WITHIN ALL PROPOSED DITCHES AND CHANNELS. ADDITIONAL MECHANICAL MEASURES WILL BE REQUIRED IF VEGETATIVE COVER CANNOT BE ESTABLISHED.
- G. PROVIDE COCONUT FIBER EROSION CONTROL BLANKET WITH BIODEGRADABLE NETTING & 0.5LBS/SQ YD JUTE FIBER ON ALL SLOPES THAT ARE 3:1 OR STEEPER AND ARE NOT ALREADY SPECIFIED TO RECEIVE ANOTHER TYPE OF BLANKET.
- H. ADDITIONAL MEASURES TO CONTROL EROSION AND SEDIMENT MAY BE REQUIRED BY A REPRESENTATIVE OF THE STATE.
- I. APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. ANY GRADING BEYOND THE PROPERTY LINE INDICATED ON THE CONSTRUCTION DOCUMENTS IS A VIOLATION AND IS SUBJECT TO A FINE. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
- J. INLET PROTECTION IS REQUIRED FOR ALL INLETS LOCATED IN THE WORKING AREA AND REQUIRED UNTIL THE SITE IS FULLY STABILIZED.
- K. CONTRACTOR SHALL TAKE ALL MEASURES POSSIBLE TO PREVENT TRACKING MUD/SOIL ON ADJACENT ROADWAYS. ANY MUD/SOIL TRACKED ON ADJACENT ROADWAYS SHALL BE CLEANED DAILY BY THE CONTRACTOR.
- L. GROUND STABILIZATION MUST OCCUR WITHIN 7 DAYS ON PERIMETER AREAS AND SLOPES GREATER THAN 3:1; GROUND STABILIZATION MUST OCCUR WITHIN 14 DAYS ON OTHER AREAS.
- M. GRADED SLOPES AND FILLS SHALL BE PROTECTED WITH A ROLLED EROSION CONTROL PRODUCT IF COMPLETED OUTSIDE OF OPTIMUM GERMINATION SEASONS, WHEN UNFAVORABLE WEATHER CONDITIONS PREVENT ESTABLISHMENT OF VEGETATIVE GROUND COVER.
- N. IF SOIL IS TO BE IMPORTED/EXPORTED DURING GRADING OPERATIONS, THE IMPORT/EXPORT SOIL SHALL BE IMPORTED/EXPORTED FROM/TO A SITE PERMITTED THROUGH THE SEDIMENTATION POLLUTION CONTROL ACT.

CONSTRUCTION SEQUENCE

1. OBTAIN PLAN APPROVAL AND OTHER APPLICABLE PERMITS.
2. CONTACT THE SAINT MARY'S COUNTY STORMWATER MANAGEMENT OFFICE TO INFORM THAT CONSTRUCTION IS READY TO BEGIN.
3. FLAG THE WORK LIMITS AND BUFFER AREAS FOR PROTECTION.
4. HOLD PRE-CONSTRUCTION CONFERENCE AT LEAST ONE WEEK PRIOR TO STARTING CONSTRUCTION. ALL MEASURES ARE TO MEET THE DETAILS AND SPECIFICATIONS OF THE CURRENT ST. MARY'S STORMWATER MANAGEMENT, GRADING, EROSION & SEDIMENT CONTROL ORDINANCE.
5. INSTALL TREE PROTECTION FENCE, INLET PROTECTION, AND COMPOST FILTER SOCK.
6. CONSTRUCT ALL ADDITIONAL TEMPORARY MEASURES. DO NOT IMPACT ADJACENT PROPERTIES WITH EROSION CONTROL MEASURES.
7. ROUGH GRADE SITE, STOCKPILE SOIL, AND RELOCATE/INSTALL ADDITIONAL SILT FENCE AS REQUIRED BY PLANS. MAINTAIN FILL SLOPES DAILY AS SLOPES ARE GRADED.
8. CONSTRUCT TRUCK TURN AROUND AND STABILIZE EMBANKMENTS.
9. BEGIN BUILDING CONSTRUCTION.
10. COMPLETE ALL CONSTRUCTION WITHIN THE PROJECT LIMITS.
11. EROSION CONTROL MEASURES DIRECTLY AFFECTED SHALL BE MAINTAINED/REMOVED AS STATED ON PLANS. DEVICES SHALL BE MAINTAINED TO MAX. 50% CAPACITY UNTIL THE AREAS THEY SERVE ARE FULLY STABILIZED.
12. PROVIDE PERMANENT GRASSING FOR ALL DISTURBED AREAS NOT COVERED BY BUILDINGS, PAVING, OR OTHER LANDSCAPED AREAS.
13. CONTACT THE COUNTY FOR PERMISSION TO REMOVE EROSION CONTROL DEVICES.
14. REMOVE ALL EROSION CONTROL DEVICES INCLUDING ACCUMULATED SEDIMENT.
15. ALL EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH THE ST. MARY'S COUNTY STORMWATER MANAGEMENT, GRADING, EROSION AND SEDIMENTATION CONTROL ORDINANCE AND U.S. DEPARTMENT OF AGRICULTURE REQUIREMENTS.
16. DILIGENTLY AND CONTINUOUSLY MAINTAIN ALL EROSION CONTROL DEVICES AND STRUCTURES TO MINIMIZE EROSION. MAINTAIN CLOSE CONTACT WITH THE COUNTY INSPECTOR SO THAT PERIODIC INSPECTIONS CAN BE CONDUCTED AT APPROPRIATE STAGES OF CONSTRUCTION.
17. ESTIMATED TIME BEFORE FINAL STABILIZATION ----- **3 MONTHS**.

SOIL STOCKPILE NOTES

- A. CONTRACTOR TO STOCKPILE EXISTING TOPSOIL (UNCOMPACTED SOIL WITH NO STONES, ROOTS, OR ANY OTHER MATERIAL GREATER THAN 1" IN SIZE), UNTIL MASS GRADING AND SITE CONSTRUCTION ARE COMPLETED. TOP SOIL TO BE FINE GRADED OVER ALL UNPAVED AREAS TO THE DEPTH INDICATED IN THE SPECIFICATIONS PRIOR TO ANY SEEDING OR LANDSCAPING.
- B. CONTRACTOR SHALL INSTALL TEMPORARY COMPOST FILTER SOCK AROUND SOIL STOCKPILES, LEAVING ROOM FOR EQUIPMENT ACCESS.
- C. SOIL STOCKPILES SHALL BE LOCATED WITHIN LIMITS OF DISTURBANCE NOTED ON THE EROSION CONTROL PLANS.

EROSION CONTROL LEGEND

- 1. TREE PROTECTION FENCE - SEE DETAIL 6/C7.01
- 2. LIMITS OF DISTURBANCE (19,604 SF)
- 3. COMPOST FILTER SOCK - SEE DETAIL 5/C7.01
- 4. INLET PROTECTION - SEE DETAIL 4/C7.01
- 5. PROPOSED SEEDED AREAS - SEE DETAILS 6-8/C7.01

SITE INFORMATION

SITE SOILS: EYESBORO LOAMY SAND (EvB)
RUMFORD LOAMY SAND (RmB)

TOTAL SITE AREA: 7.56 AC
 DENuded AREA: 0.60 AC

LATITUDE: 38°30'00" N
 LONGITUDE: 76°45'17" W

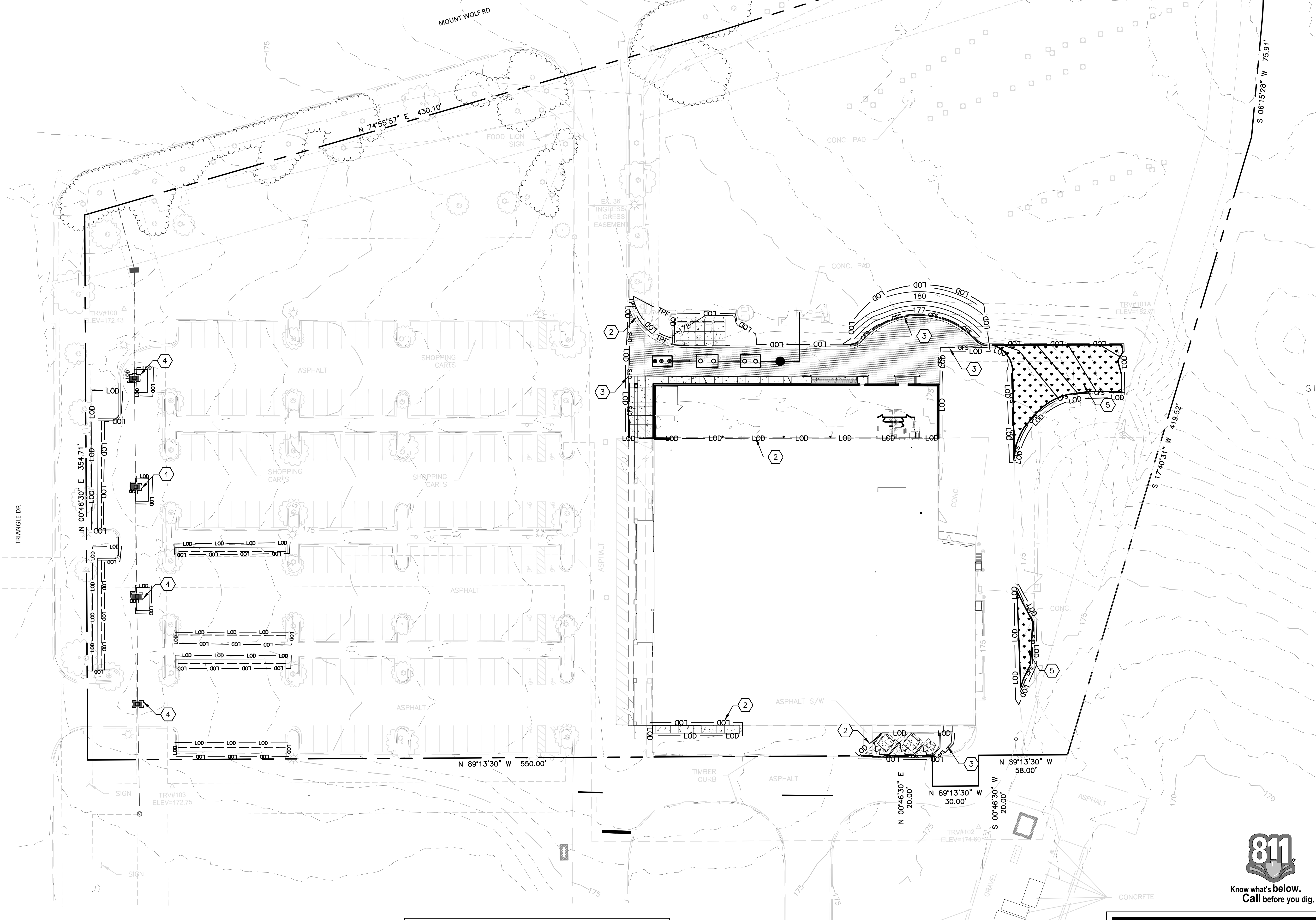
RIVER BASIN: PATUXENT RIVER
 DOWNSTREAM CREEK: INDIAN CREEK

FLOODPLAIN INFORMATION:
 ZONE: X
 MAP NUMBERS: 24037C0038E & 24037C0019E
 EFFECTIVE DATE: OCTOBER 19, 2004

PROJECT CONTACT

SHOULD PROBLEMS WITH EROSION AND SEDIMENT CONTROL ARISE DURING CONSTRUCTION, CONTACT:

KEVIN THORSTAD, PE
 LITTLE DIVERSIFIED ARCHITECTURAL CONSULTING
 4245 NORTH FAIRFAX DR, SUITE 650
 ARLINGTON, VA 22203
 571-257-2865
 KEVIN.THORSTAD@LITTLEONLINE.COM



LITTLE
DIVERSIFIED ARCHITECTURAL CONSULTING

615 South College St. Ste. 1600
 Charlotte, NC 28202
 T: 704-525-6350 F: 704-561-8700
 www.littleonline.com

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FOOD LION

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 SALISBURY, NC 28145
 PH: 704-633-8250
 FX: 704-636-4940

ISSUE FOR: **CONSTRUCTION**

ISSUE DATE: **1.28.2020**

NO.	REVISION	DATE

811
Know what's below. Call before you dig.

PROJECT TEAM
 PRINCIPAL IN CHARGE: **Tim Morrison, AIA**
 PROJECT MANAGER: **Stephanie Lewis**
 DESIGN TEAM: **BK, EJ**

PROJECT NAME: **Food Lion Store #1319**
30290 Mt. Wolf Road
Charlotte Hall, MD 20622

PROJECT NUMBER: **1319FLMK19**

FILE NAME:

LITTLE PROJECT NUMBER: **122.13133.00**

SHEET TITLE: **EROSION CONTROL PLAN**

SHEET NUMBER: **C5.00**

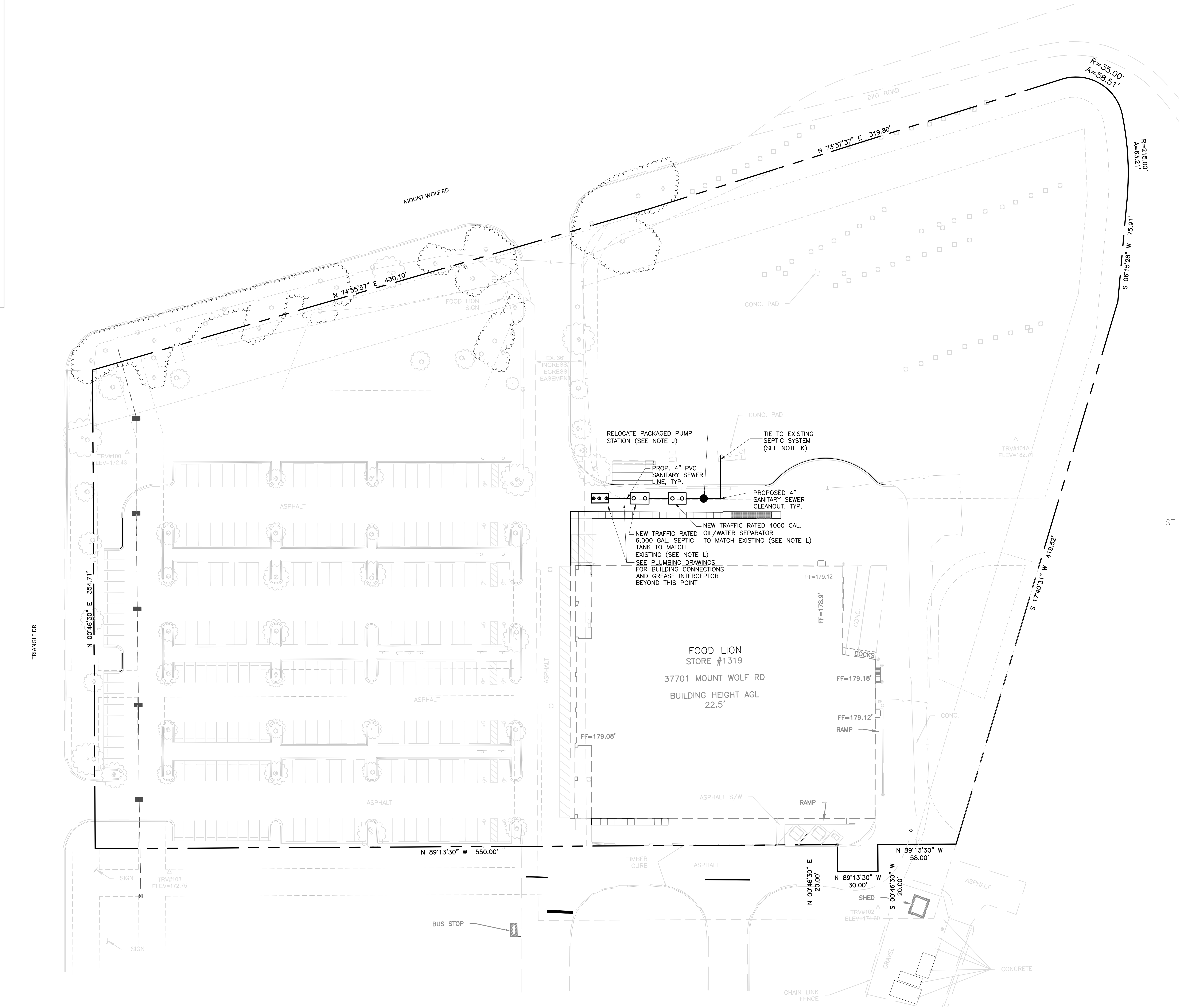
CAUTION!!!
 The locations and elevations of existing underground utilities as shown on this drawing are only APPROXIMATE. No guarantee is either expressed or implied as to the completeness of accuracy thereof. The contractor shall be exclusively responsible for determining the exact utility locations and elevations prior to the start of construction

GRAPHIC SCALE

 1" = 30'

SANITARY SEWER NOTES

- A. SANITARY SEWER LINE(S) TO BE INSTALLED PER METCOM AND MARYLAND DEPT. OF THE ENVIRONMENT.
- B. MAINTAIN MINIMUM 10" HORIZONTAL SEPARATION AND MINIMUM 18" VERTICAL SEPARATION BETWEEN WATER LINE AND SANITARY SEWER LINES.
- C. SANITARY SEWER MAINS SHALL BE PVC (ASTM D3034-SDR 35) WITH STONE BEDDING EXCEPT WHERE DUCTILE IRON PIPE OR LONG SPAN STEEL PIPE IS SHOWN. DUCTILE IRON PIPE SHALL BE BITUMINOUS COATED, CEMENT LINED WITH PUSH-ON JOINTS CONFORMING TO ASA A21.54 PC350. TRANSITIONAL COUPLINGS SHALL BE USED FOR PVC/DI SEWER CONNECTIONS. SEWER SERVICES SHALL BE SCHEDULE 40 PVC. LONG SPAN STEEL PIPE SHALL BE COATED ON BOTH SIDES WITH 3 MILS EPOXY. ANY SEWER LINE PLACED AT 16" OR GREATER IN DEPTH SHALL BE DUCTILE IRON PIPE.
- D. ALL SEWER MANHOLES SHALL BE PRE-CAST CONCRETE WITH INTEGRALLY CAST WATERTIGHT CONNECTIONS.
- E. DUCTILE IRON PIPE SHALL BE IN ACCORDANCE WITH AWWA C150/A21.50 & AWWA C151/A21.51.
- F. PLACE CLEAN-OUTS ON SANITARY SEWER LINES PER PLUMBING CODE REQUIREMENTS.
- G. A CONTINUOUS AND UNIFORM BEDDING SHALL BE PROVIDED IN THE TRENCH FOR ALL BURIED PIPE. BACKFILL MATERIAL SHALL BE TAMPED IN LAYERS AROUND THE PIPE AND TO A SUFFICIENT HEIGHT ABOVE THE PIPE TO ADEQUATELY SUPPORT AND PROTECT THE PIPE. STONES, OTHER THAN CRUSHED BEDDING, SHALL NOT COME INTO CONTACT WITH THE PIPE AND SHALL NOT BE WITHIN 6" OF THE PIPE.
- H. CONTRACTOR TO LOCATE BUILDING TIE-INS PER PLUMBING PLANS.
- I. SEWER SERVICE LATERALS CONNECTION TO THE MAINLINE WITHIN 10' OF A MANHOLE MUST GO DIRECTLY INTO THE MANHOLE.
- J. COORDINATE WITH MANUFACTURER TO VERIFY PACKAGED PUMP STATION IS HS-20 TRAFFIC RATED. ADD HS-20 TRAFFIC RATED COVER.
- K. MATCH PIPE SIZE AND MAINTAIN PIPING SLOPE BETWEEN THE PUMP STATION TO THE EXISTING COLLECTION TANK
- L. REFER TO THE FOLLOWING PLANS: TREATMENT SYSTEM UPGRADE FOOD LION #139, DELHAIZE AMERICA SHARED SERVICES GROUP, LLC, DATED 09/04/2015.



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Tim Morrison, AIA
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DESIGN TEAM:
BK, EJ
PROJECT NAME:
Food Lion Store #1319
30290 Mt. Wolf Road
Charlotte Hall, MD 20622

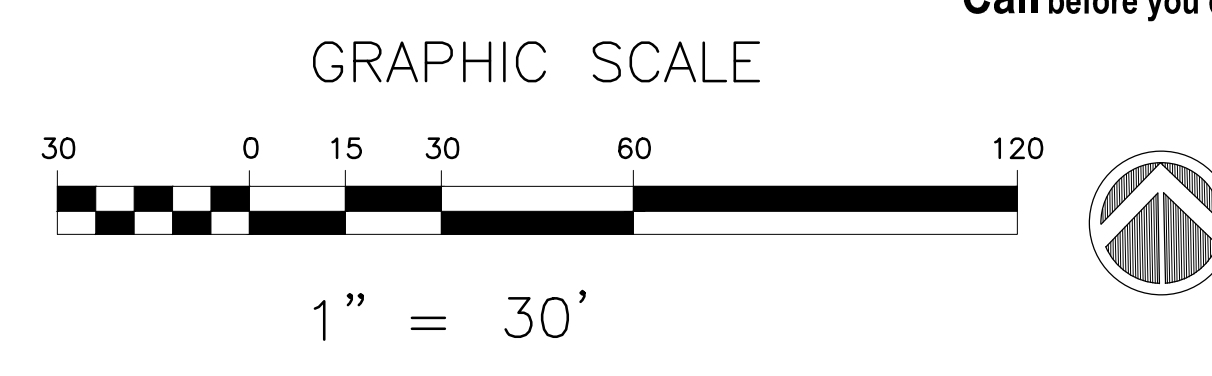
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1319FLMK19

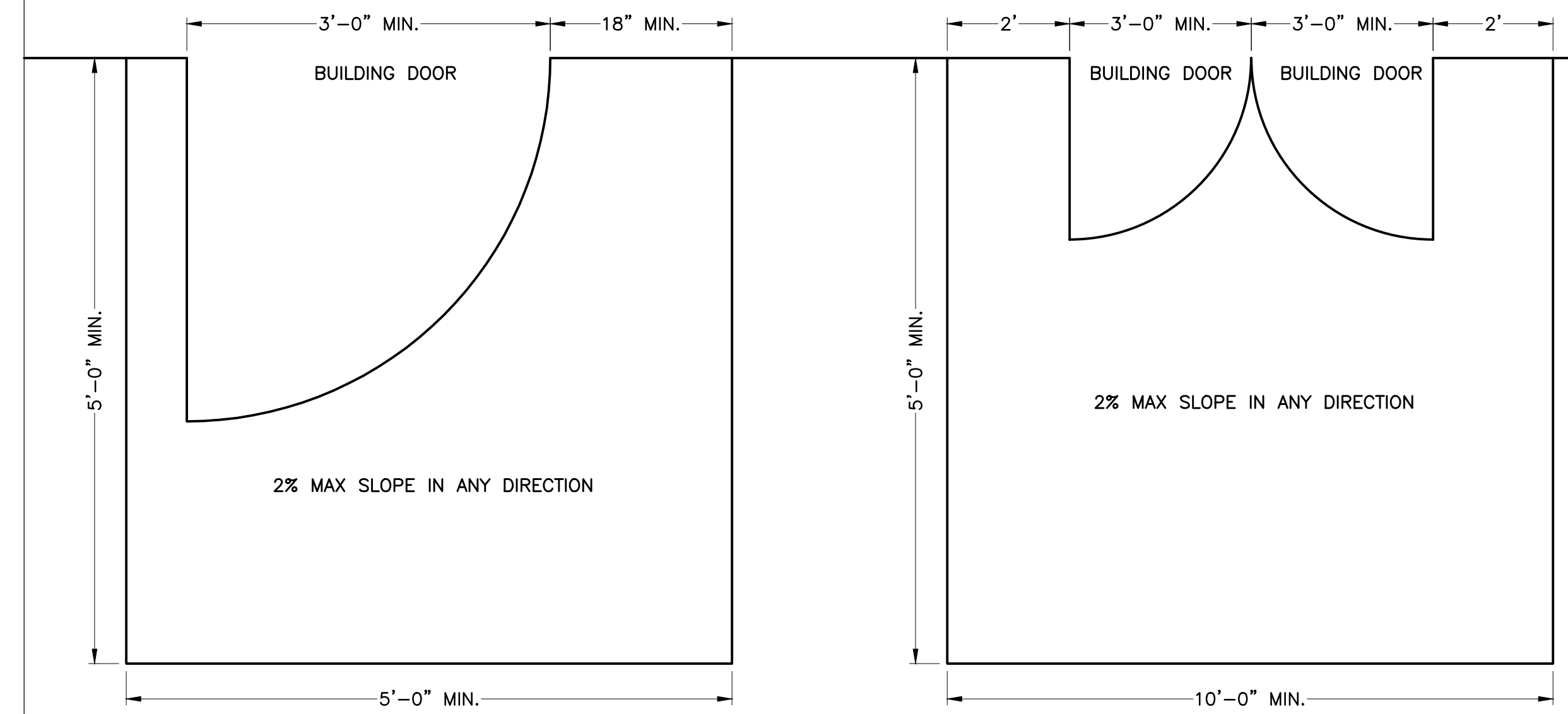
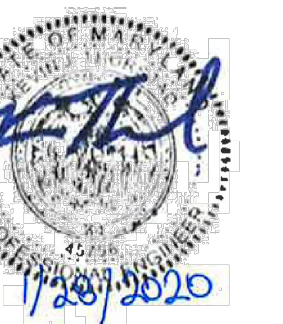
FILE NAME
LITTLE PROJECT NUMBER
122.13133.00

SHEET TITLE
UTILITY PLAN

SHEET NUMBER
C6.00

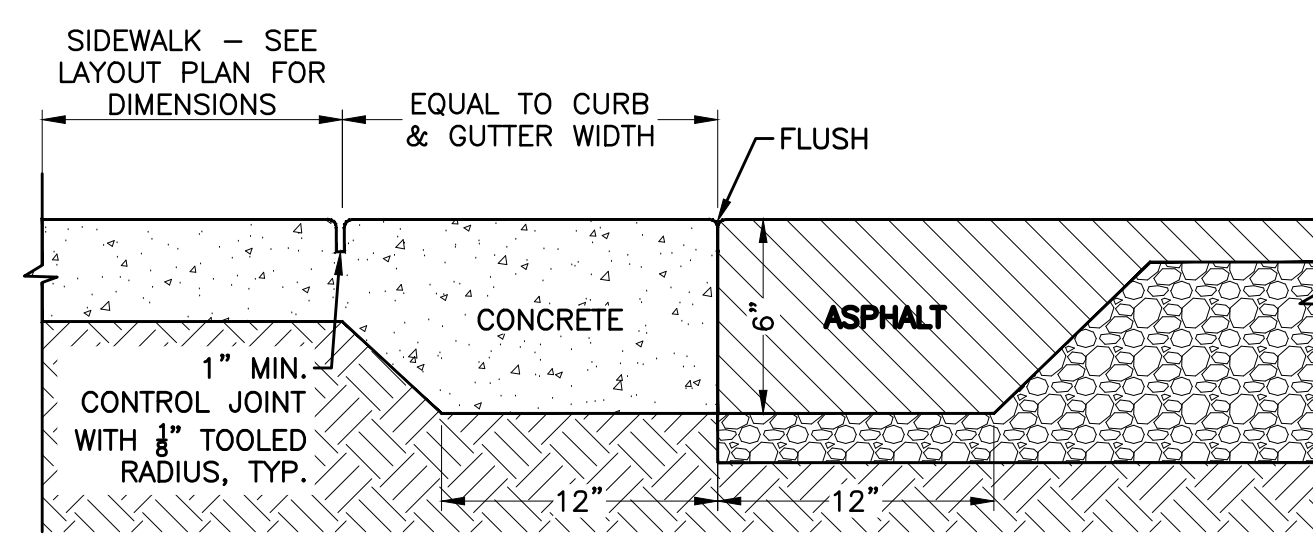
CAUTION!!!
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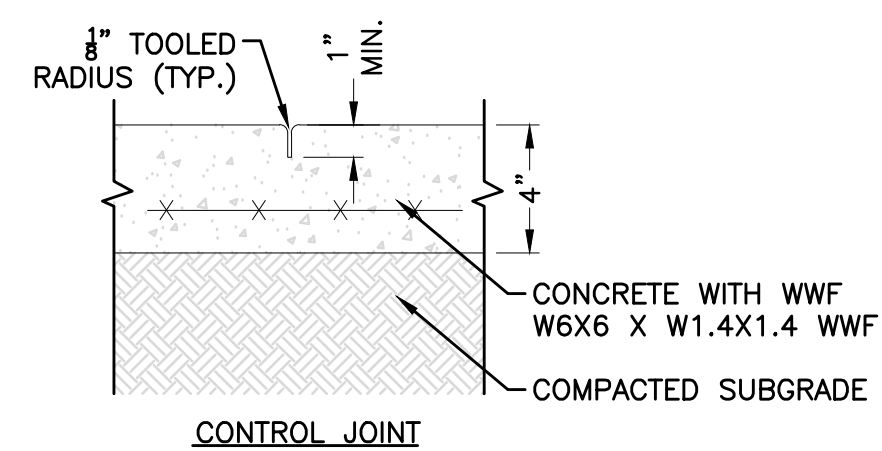
8 ACCESSIBLE EGRESS LANDING
NOT TO SCALE

- NOTES:**
- ALL NEW CONCRETE SURFACES TO MEET FLUSH WITH ALL NEW AND EXISTING ASPHALT OR CONCRETE SURFACES.
 - SLOPE NOT TO EXCEED 1.5% IN ANY DIRECTION WHEN USED ALONG ACCESSIBLE ROUTE.

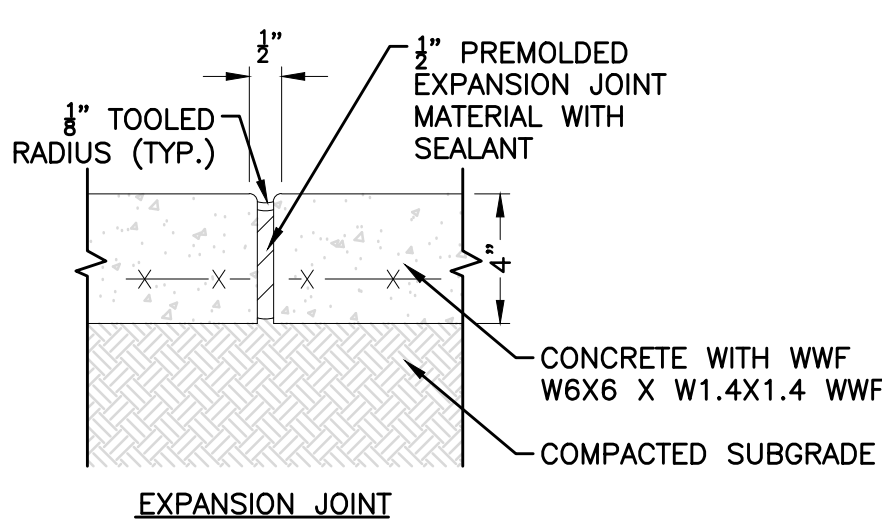


7 FLUSH CURB
NOT TO SCALE

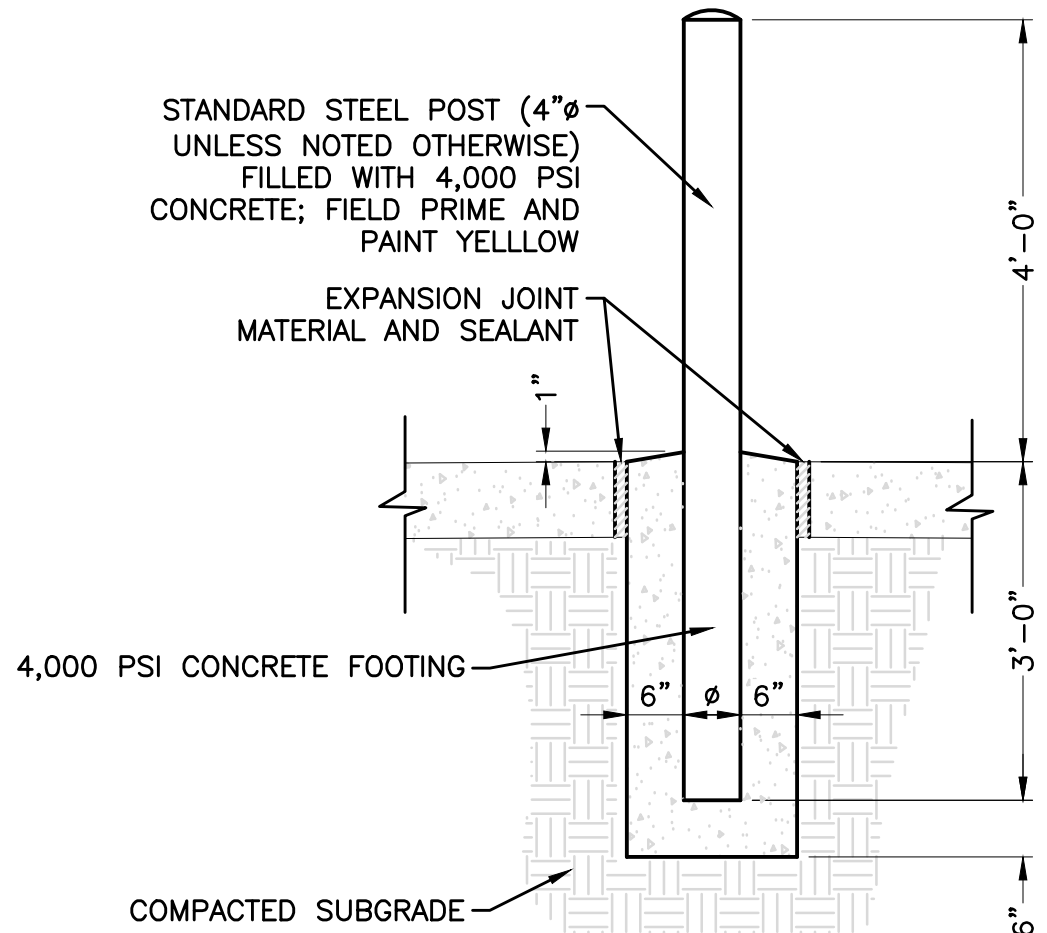
NOTE: LOCATE CONTROL JOINTS AT A DISTANCE EQUAL TO WIDTH OF WALK, OR AS INDICATED ON PLAN.



NOTE: LOCATE EXPANSION JOINTS AT 30'-0" (TYP.) OR AS INDICATED ON PLAN.

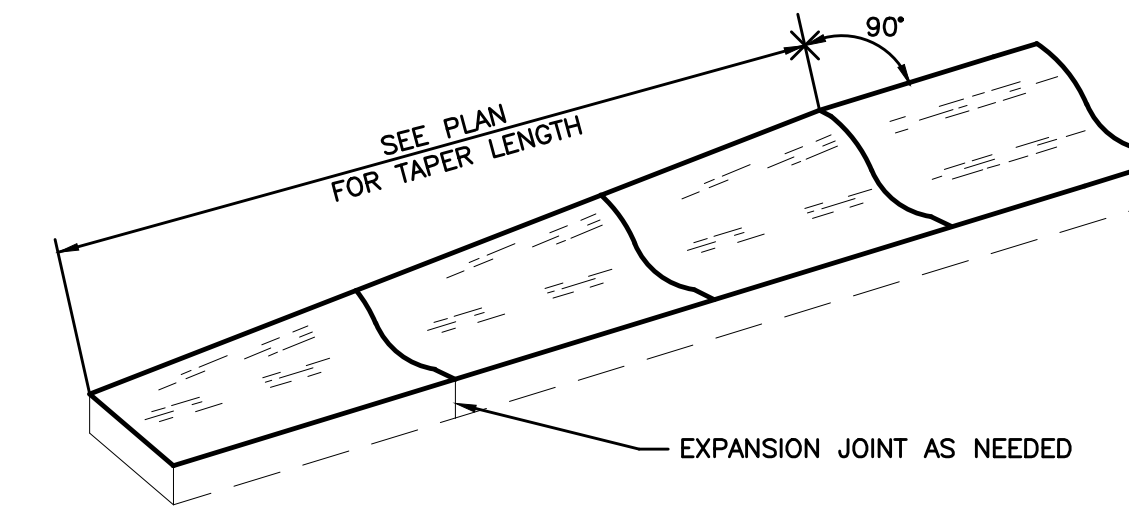


3 CONCRETE SIDEWALK
NOT TO SCALE



6 PIPE BOLLARD
NOT TO SCALE

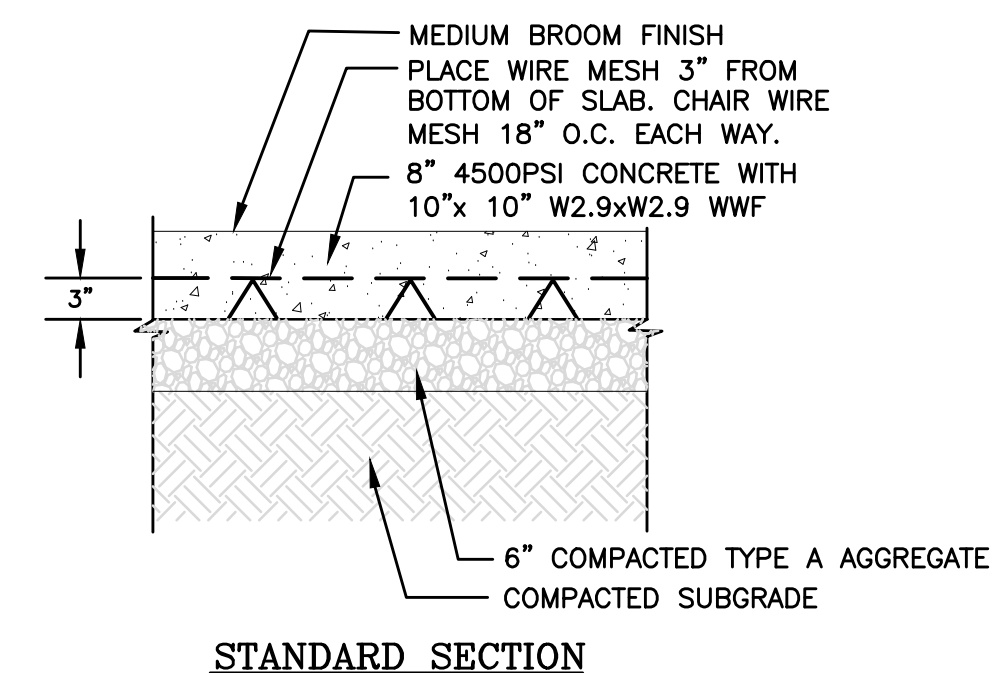
5 CURB TAPER
NOT TO SCALE



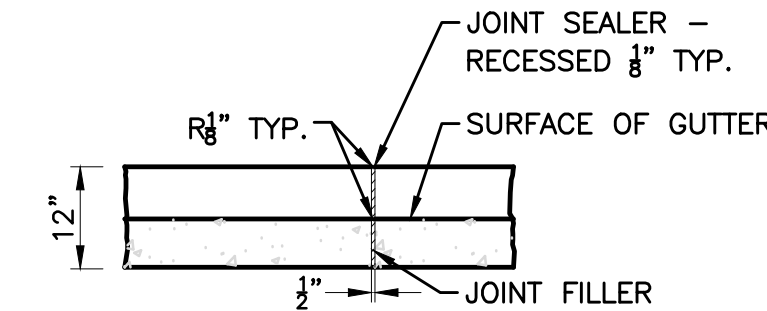
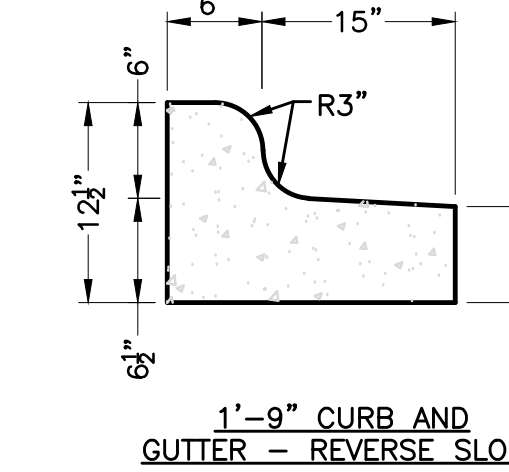
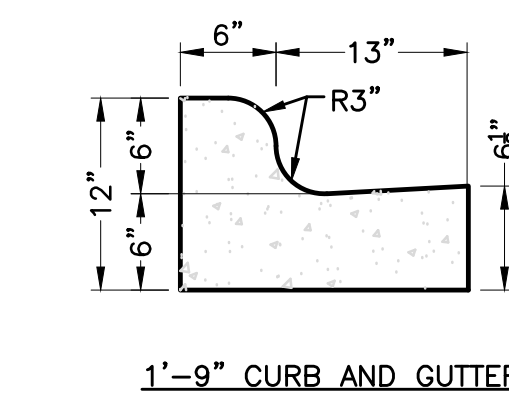
NOTE: CURB TAPER TO BE PAINTED YELLOW

2 HEAVY-DUTY CONCRETE
NOT TO SCALE

- NOTES:**
- A CONTROL JOINT 1" DEEP WITH 1/8" RADI SHALL BE REQUIRED IN THE CONCRETE PAVING AT 12' ON CENTER OR AS DELINEATED ON SITE LAYOUT PLAN. A 1/2" MAX EXPANSION JOINT WILL BE REQUIRED WHERE THE PAVING JOINS ANY RIGID STRUCTURE. A SAWEED SCORE JOINT MAY BE USED IN LIEU OF EXPANSION JOINT EXCEPT AGAINST RIGID STRUCTURES.
 - ALL CONCRETE TO BE AT LEAST 4,500 P.S.I. IN 28 DAYS.
 - 1/2" MAX EXPANSION MATERIAL WHERE PAVING ABUTS CURB AND GUTTER.
 - SLOPE SHALL NOT EXCEED 1.5% IN ANY DIRECTION.
 - ALL NEW CONCRETE PARKING SPACES TO MEET FLUSH WITH ADJACENT ASPHALT PAVING AND CURB AND GUTTER UNLESS OTHERWISE NOTED.



1 HEAVY-DUTY ASPHALT
NOT TO SCALE



NOTES:

- CONTRACTION JOINTS SHALL BE SPACED AT 10'-0" INTERVALS, EXCEPT THAT A 15'-0" SPACING MAY BE USED WHEN A MACHINE IS USED OR WHEN SATISFACTORY SUPPORT FOR THE FACE OF THE FORM CAN BE OBTAINED WITHOUT THE USE OF TEMPLATES AT 10'-0" INTERVALS. JOINT SPACING MAY BE ALTERED BY THE ENGINEER TO PREVENT UNCONTROLLED CRACKING.
- CONTRACTION JOINTS MAY BE INSTALLED BY THE USE OF TEMPLATES OR FORMED BY OTHER APPROVED METHODS, WHERE SUCH JOINTS ARE NOT FORMED BY TEMPLATES, A MINIMUM DEPTH OF 1 1/2" SHALL BE OBTAINED.
- ALL CONTRACTION JOINTS SHALL BE FILLED WITH JOINT SEALER.
- EXPANSION JOINTS SHALL BE SPACED AT 90'-0" INTERVALS AND ADJACENT TO ALL RIGID OBJECTS.
- JOINTS SHALL MATCH LOCATIONS WITH JOINT IN ABUTTING SIDEWALK.
- CONCRETE SHALL BE 3600 PSI IN 28 DAYS.
- TOP 6" OF SUBGRADE BENEATH CURB AND GUTTER SHALL BE COMPACTED TO 100% STANDARD PROCTOR DENSITY.



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PROJECT TEAM
PRINCIPAL IN CHARGE
Tim Morrison, AIA
PROJECT MANAGER
Stephanie Lewis
DESIGN TEAM
BK, EJ

PROJECT NAME
Food Lion Store #1319
30290 Mt. Wolf Road
Charlotte Hall, MD 20622

PROJECT NUMBER
1319FLMK19

LITTLE PROJECT NUMBER
122.13133.00

SHEET TITLE
SITE DETAILS

SHEET NUMBER
C7.00



NO.	REASON	DATE

PROJECT TEAM

PRINCIPAL IN CHARGE	Tim Morrison, AIA
PROJECT MANAGER	Stephanie Lewis
DESIGN TEAM	BK, EJ

PROJECT NAME

Food Lion Store #1319
30290 Mt. Wolf Road
Charlotte Hall, MD 20622

PROJECT NUMBER

1319FLMK19

FILE NAME

LITTLE PROJECT NUMBER

122.13133.00

SHEET TITLE

OLDCASTLE SYSTEM DETAILS

SHEET NUMBER

C7.02

NOTE: THE SYSTEM PRESENTED ON THIS SHEET IS A PROPRIETARY SYSTEM. THE DESIGN AND CALCULATIONS HAVE BEEN PERFORMED BY OLDCASTLE INFRASTRUCTURE AND WHOM HAVE RESPONSIBILITY FOR VERIFYING THE SYSTEMS CAPABILITIES BASED ON THE PROVIDED SITE CRITERIA.



Perk Filter™ Sizing Summary
Maryland Department of the Environment

Date: December 5, 2019

Site Information

Project Name	Food Lion #1319
Project Location	Charlotte Hall, MD
Design Engineer	Little Diversified Architecture
OSS Engineer	CJS
Drainage Area	0.61 ac
Impervious Drainage Area	0.52 ac
Pervious Area	0.09 ac
% Impervious	85%
Runoff Coefficient	0.82

Water Quality Volume Calculations

Rainfall Zone	Eastern
Precipitation	1 in
Water Quality Volume	1,810 cf
Required Storage (75% of Water Quality Volume)	1,357 cf

Mass Loading Calculations

Mean Annual Rainfall (P)	42 in
Required % Removal	80%
Required % Runoff Capture	90%
Mean Annual Runoff (V)	68,401 cf
Assumed Pollutant EMC	70 mg/L
Annual Mass Load	298.23 lb
Pretreatment Credit	0%

Cartridge Quantity Based on Mass Loading

Cartridge Stack Size	12
Allowed Loading Rate	1.5 gpm/sf
Allowed Cartridge Flow Capacity	6.8 gpm
Mass Removed by Pretreatment	0.00 lb
Mass Load to Filter after Pretreatment	298.23 lb
Required Filter Efficiency	80%
Mass Removal Required	238.58 lb
Mass Load per Cartridge	38 lb
Number of Cartridge Stacks Required	7
Treatment Flow Capacity	0.11 cfs

Summary

Cartridge Stack Size	12
Number of Cartridge Stacks	7
Treatment Flow Rate Provided	0.11 cfs
Vault Size	6' x 8'



Perk Filter™ Sizing Summary
Maryland Department of the Environment

Date: December 5, 2019

Site Information

Project Name	Food Lion #1319
Project Location	Charlotte Hall, MD
Design Engineer	Little Diversified Architecture
OSS Engineer	CJS
Drainage Area	0.62 ac
Impervious Drainage Area	0.53 ac
Pervious Area	0.09 ac
% Impervious	85%
Runoff Coefficient	0.82

Water Quality Volume Calculations

Rainfall Zone	Eastern
Precipitation	1 in
Water Quality Volume	1,844 cf
Required Storage (75% of Water Quality Volume)	1,383 cf

Mass Loading Calculations

Mean Annual Rainfall (P)	42 in
Required % Removal	80%
Required % Runoff Capture	90%
Mean Annual Runoff (V)	69,705 cf
Assumed Pollutant EMC	70 mg/L
Annual Mass Load	303.91 lb
Pretreatment Credit	0%

Cartridge Quantity Based on Mass Loading

Cartridge Stack Size	12
Allowed Loading Rate	1.5 gpm/sf
Allowed Cartridge Flow Capacity	6.8 gpm
Mass Removed by Pretreatment	0.00 lb
Mass Load to Filter after Pretreatment	303.91 lb
Required Filter Efficiency	80%
Mass Removal Required	243.13 lb
Mass Load per Cartridge	38 lb
Number of Cartridge Stacks Required	7
Treatment Flow Capacity	0.11 cfs

Summary

Cartridge Stack Size	12
Number of Cartridge Stacks	7
Treatment Flow Rate Provided	0.11 cfs
Vault Size	6' x 8'



Perk Filter™ Sizing Summary
Maryland Department of the Environment

Date: December 5, 2019

Site Information

Project Name	Food Lion #1319
Project Location	Charlotte Hall, MD
Design Engineer	Little Diversified Architecture
OSS Engineer	CJS
Drainage Area	0.81 ac
Impervious Drainage Area	0.76 ac
Pervious Area	0.05 ac
% Impervious	94%
Runoff Coefficient	0.89

Water Quality Volume Calculations

Rainfall Zone	Eastern
Precipitation	1 in
Water Quality Volume	2,630 cf
Required Storage (75% of Water Quality Volume)	1,972 cf

Mass Loading Calculations

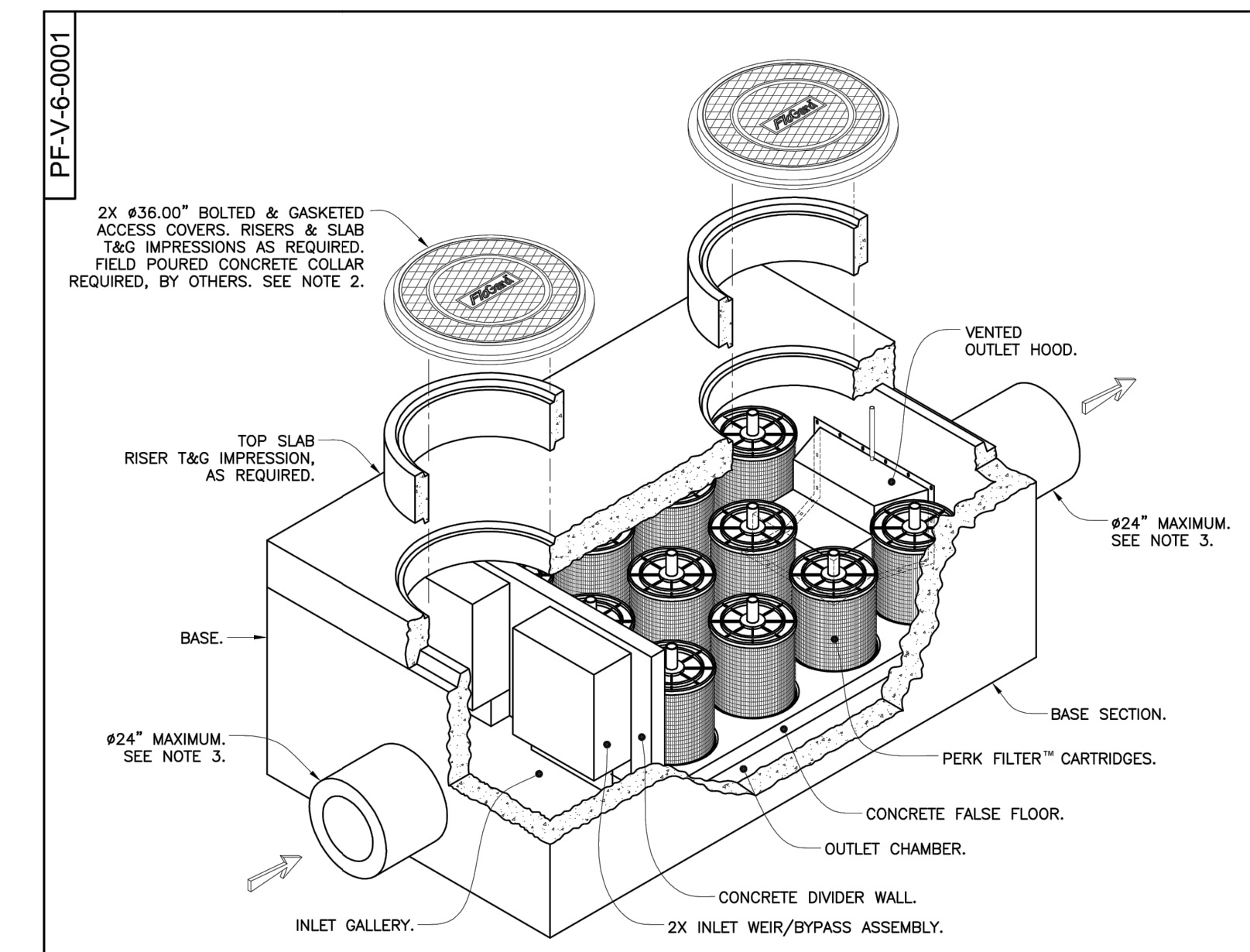
Mean Annual Rainfall (P)	42 in
Required % Removal	80%
Required % Runoff Capture	90%
Mean Annual Runoff (V)	99,412 cf
Assumed Pollutant EMC	70 mg/L
Annual Mass Load	433.44 lb
Pretreatment Credit	0%

Cartridge Quantity Based on Mass Loading

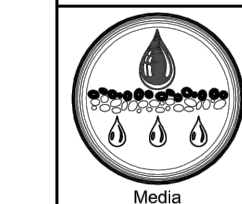
Cartridge Stack Size	12
Allowed Loading Rate	1.5 gpm/sf
Allowed Cartridge Flow Capacity	6.8 gpm
Mass Removed by Pretreatment	0.00 lb
Mass Load to Filter after Pretreatment	433.44 lb
Required Filter Efficiency	80%
Mass Removal Required	346.75 lb
Mass Load per Cartridge	38 lb
Number of Cartridge Stacks Required	10
Treatment Flow Capacity	0.15 cfs

Summary

Cartridge Stack Size	12
Number of Cartridge Stacks	10
Treatment Flow Rate Provided	0.15 cfs
Vault Size	6' x 12'



- Notes:
1. Precast concrete structure shall be manufactured in accordance with ASTM Designation C857 and C858.
 2. Filter system shall be supplied with traffic rated (H20) bolted & gasketed Ø36\" circular access covers with risers as required. Shallow applications may require configurations with (H20) bolted & gasketed square/rectangular access hatches. Field poured concrete collars required, by others.
 3. Inlet & outlet pipe(s) (Ø 24\" maximum) may enter device on all three sides of the inlet & outlet chambers respectively.
 4. Inlet chamber shall be supplied with a drain-down device designed to remove standing water between storm events.
 5. For depths less than specified minimums contact Oldcastle® Stormwater Solutions for engineering assistance.



Perk Filter™
6\" Wide Concrete Vault
Four to Eleven Cartridges / Stacks



Oldcastle®
Stormwater Solutions
7521 Southpark Plaza, Suite 200, Littleton, CO 80120 | P: 800.870.8100 | oldcastlestormwater.com
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PF-V-6-0001 | F | EGO-D122 | JPR 10/31/14 | APR 7/8/08 | SHEET 1 OF 2

STORM WATER INFORMATION

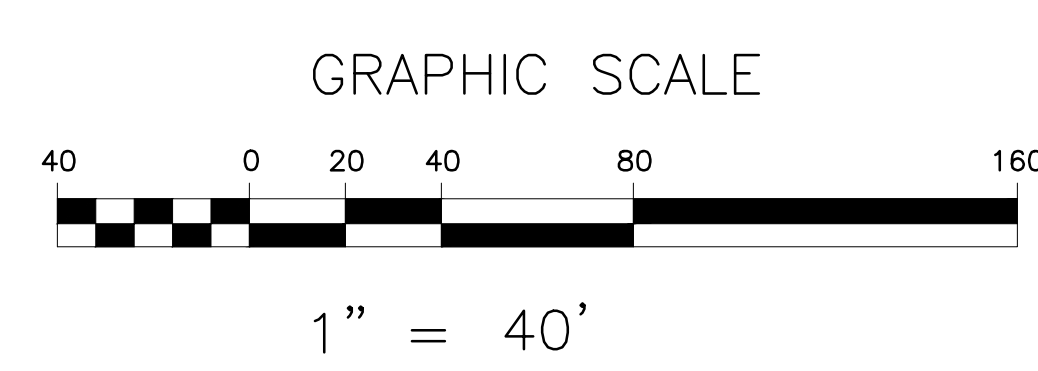
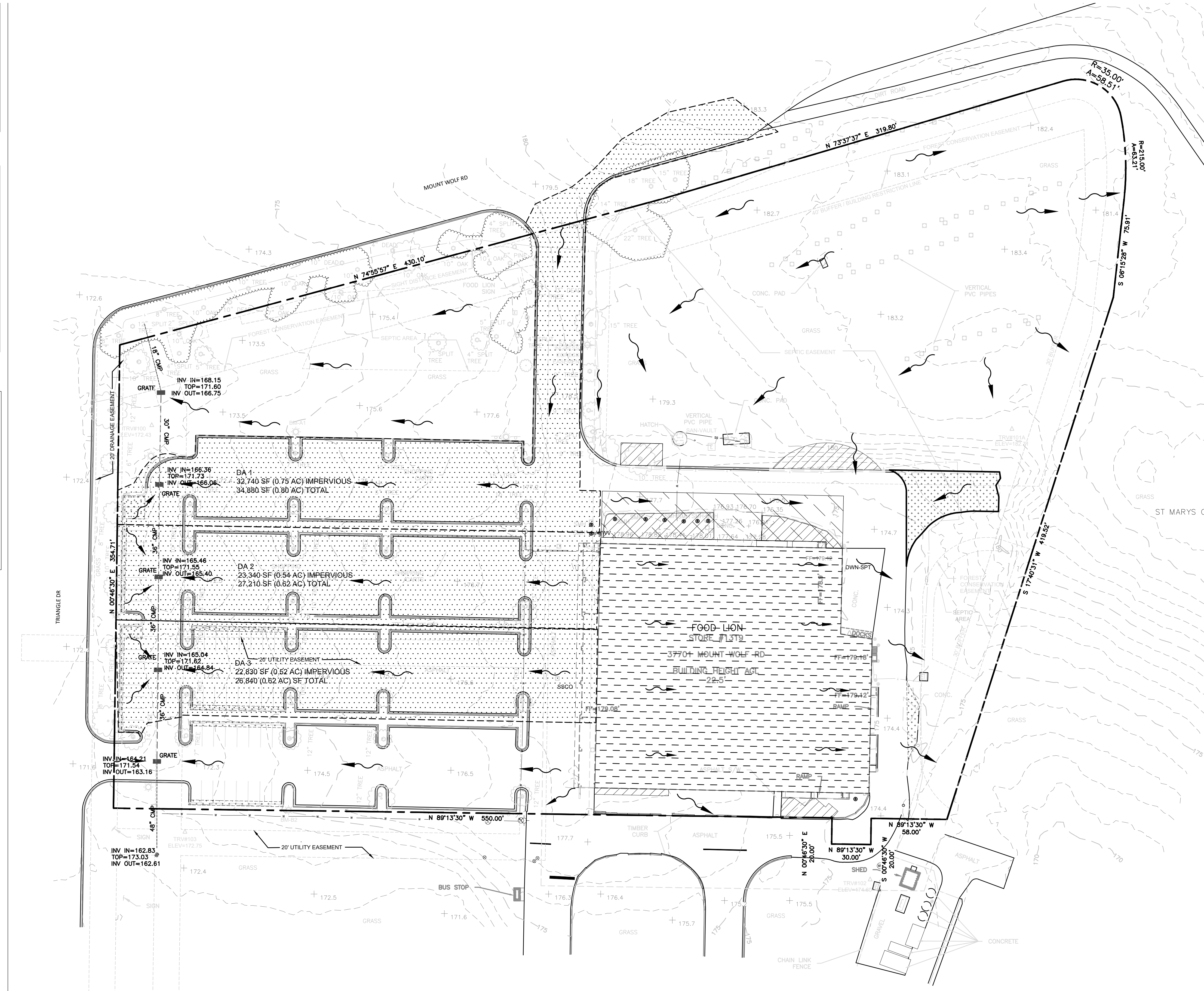
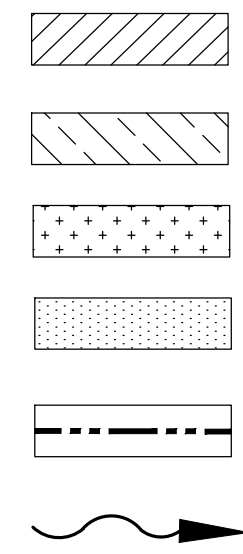
A. EXISTING IMPERVIOUS SURFACE:	2.74 ACRES
B. EXISTING BUILDING:	0.86 ACRES
C. EXISTING PERVIOUS SURFACE:	3.96 ACRES
D. TOTAL SITE AREA:	7.56 ACRES

STORM WATER TREATMENT INFORMATION

A. 50% OF EXISTING IMPERVIOUS SURFACE:	1.80 ACRES
B. PROPOSED EXISTING IMPERVIOUS SURFACE TREATED:	1.81 ACRES
C. PROPOSED ADDITIONAL IMPERVIOUS SURFACE:	0.112 ACRES (4,916 SF)
D. PROPOSED ADDITIONAL PERVIOUS SURFACE:	0.117 ACRES (5,100 SF)
E. PROPOSED TREATED AREAS (FOLLOWING IMPERVIOUS SURFACE REDUCTION):	
E.A. DA 1: IMPERVIOUS = 0.75 ACRES (32,740 SF), PERVIOUS = 0.05 ACRES (2,140 SF)	
E.B. DA 2: IMPERVIOUS = 0.54 ACRES (23,340 SF), PERVIOUS = 0.08 ACRES (3,910 SF)	
E.C. DA 3: IMPERVIOUS = 0.52 ACRES (22,830 SF), PERVIOUS = 0.10 ACRES (4,010 SF)	

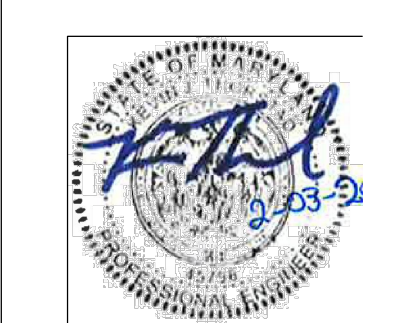
LEGEND

- A. PROPOSED NEW IMPERVIOUS SURFACE
- B. PROPOSED BUILDING EXTENSION
- C. PROPOSED NEW PERVIOUS SURFACE
- D. PROPOSED TREATED DRAINAGE AREAS
- E. PROPERTY LINE
- F. DRAINAGE DIRECTION



I:\Supermarkets_Food Lion\122-13133-00 1319 Charlotte Hall, MD\5 Site\5 DDIS\STORM WATER.dwg Feb 3, 2020-2:26pm

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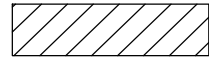
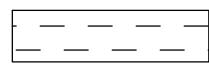
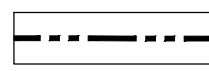
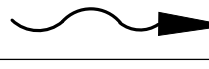
REVISIONS	
NO.	REASON

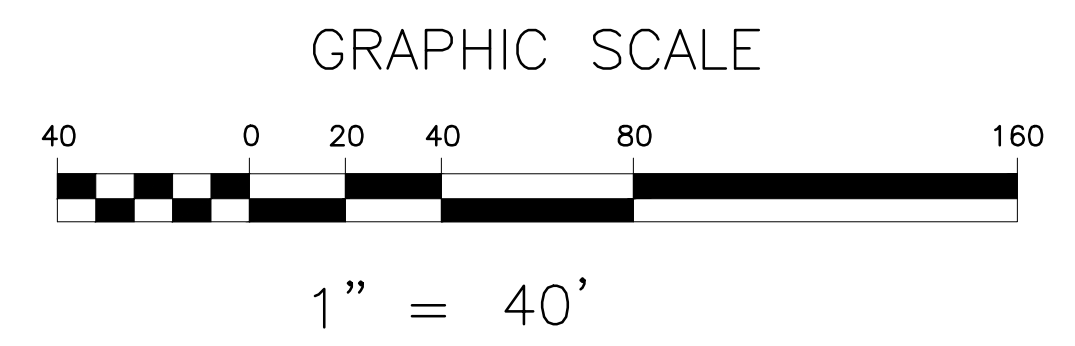
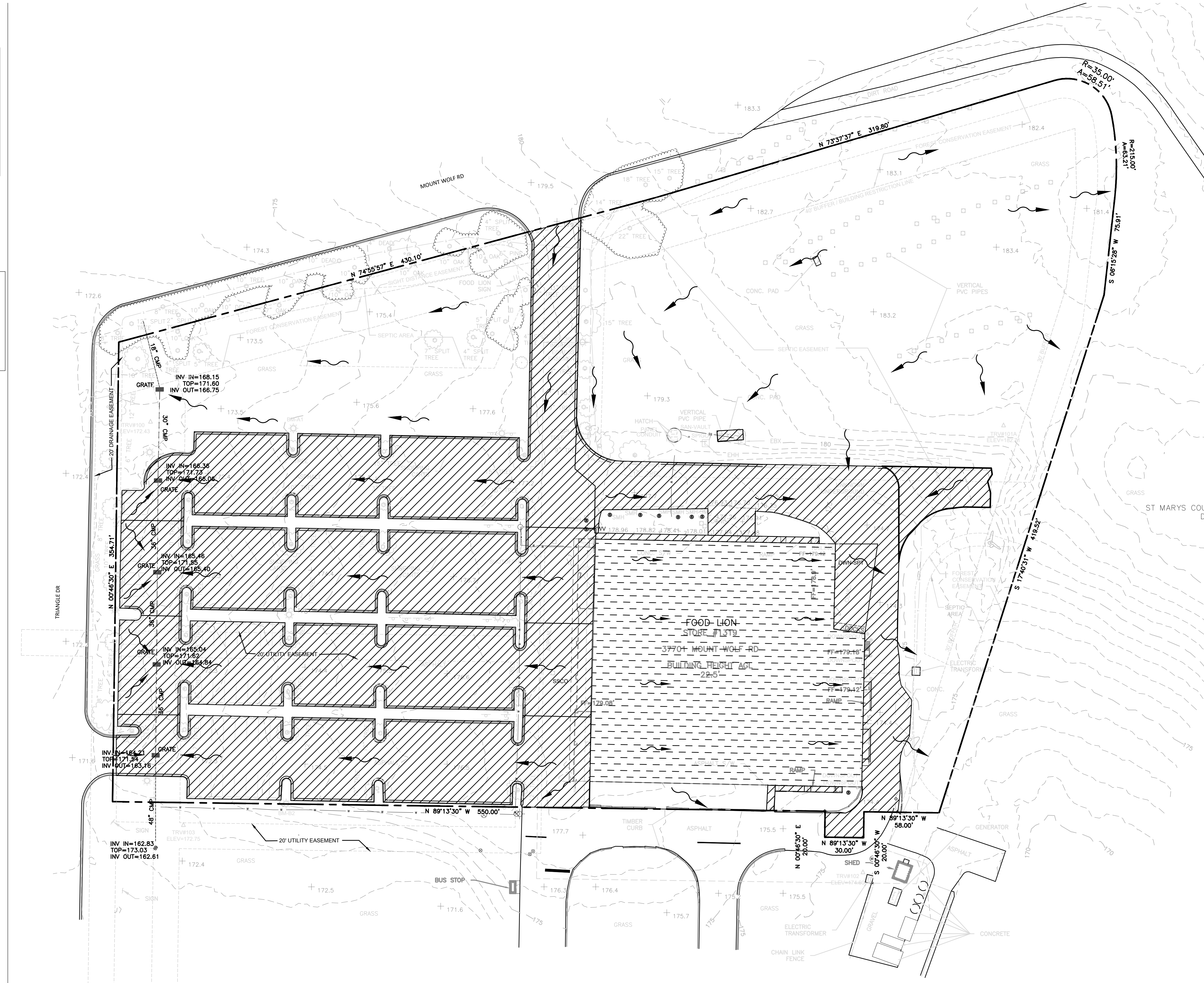
PROJECT TEAM
PRINCIPAL IN CHARGE
Tim Morrison, AIA
PROJECT MANAGER
Stephanie Lewis
DESIGN TEAM
BK, EJ
PROJECT NAME
Food Lion Store #
30290 Mt. Wolf Rd
Charlotte Hall, MD 2
PROJECT NUMBER
1319FLMK19
LITTLE PROJECT NUMBER
122.13133.00
SHEET TITLE
STORMWATER
POST DEVELOP
PLAN
SHEET NUMBER

STORM WATER INFORMATION

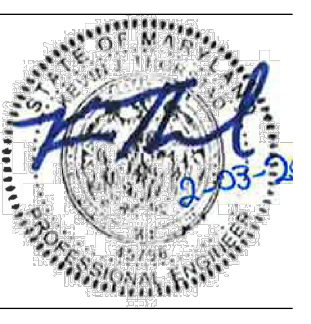

- A. EXISTING IMPERVIOUS SURFACE: 2.74 ACRES
- B. EXISTING BUILDING: 0.86 ACRES
- C. EXISTING PERVIOUS SURFACE: 3.96 ACRES
- D. TOTAL SITE AREA: 7.56 ACRES

LEGEND

- A. EXISTING IMPERVIOUS SURFACE: 
- B. EXISTING BUILDING: 
- C. PROPERTY LINE: 
- D. DRAINAGE DIRECTION: 



I:\GIS\Supermarkets_Food Lion\122-13133-00 1319 Charlotte Hall, MD\5 Site\5 DD\STORM WATER.dwg Feb 3, 2020-2:26pm

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 2110 EXECUTIVE [SALISBURY, NC 2 PH: 704-633-8 FX: 704-636-4
 ISSUE FOR
CONSTRUCTIO
 ISSUE DATE
1.28.2020
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